FOURTH AMENDMENT TO OFFERING PLAN FOR CENTRAL SQUARE VILLAS

File No. CD 09-0122

THIS AMENDMENT WAS ACCEPTED FOR FILING BY THE NEW YORK STATE DEPARTMENT OF LAW ON APRIL 12, 2011

This is the Fourth Amendment to the Offering Plan for Central Square Villas. The Plan was accepted for filing on June 20, 2009. The First Amendment was accepted for filing on October 30, 2009. The Second Amendment was accepted for filing on February 22, 2010. The Third Amendment was accepted for filing on April 14, 2010.

Status of Closed Sales

The Sponsor has closed 37 units to date. Since the filing of the Third Amendment, 20 closings have occurred. See attached Exhibit A.

Unsold Units/Lots

There are 163 Units/Lots remaining unsold, specifically, Lot Nos. 101-104, 201-206, 301-304, 401-406, 501-504, 601-606, 701-708, 801-806, 901-904, 1001-1008, 1101-1104, 1201-1206, 1301-1305, 1401-1404, 1901, 1902, 1904, 2101-2106, 2201-2204, 2301-2306, 2401-2404, 2501-2504, 2601-2604, 2701-2704, 2801-2806, 2901-2906, 3001-3004, 3101-3106, 3201-3206, 3301-3306, 3401-3404, 3501-3504, 3701, 3702, 3704, 3801-3804 and 3901-3904

Units/Lots Under Contract

Of the unsold Units/Lots, there are currently 5 Units/Lots under contract, specifically, Lot Nos. 1201, 1301, 1304, 1904 and 3704.

Working Capital and Reserve Funds

The amount of the working capital fund as of March 3, 2011, is \$3,700.00. The amount of the reserve fund as of March 3, 2011, is \$7,688.18. The funds are deposited in a checking account and a savings account, respectively, at KeyBank, 1219 French Road, Depew, New York 14043.

Board of Managers

The Sponsor is in control of the Board of Managers. Sponsor will relinquish control of the Board of Managers to the Unit Owners at the first annual meeting of the Unit Owners, which meeting shall be held within thirty (30) days after the transfer of title to 50% of the Units or if sooner, five (5) years after transfer of title to the first Unit. The Board of Managers is presently comprised of the following individuals:

The name and business address of the President is John Manns (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

The name and business address of the Vice President/Treasurer is Michael Kreamer (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

The name and business address of the Secretary is Dave DePaolo (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

First Meeting of Unit Owners

The first meeting of the Unit Owners has not occurred.

Common Charges

The aggregate monthly common charges for units/lots held by the Sponsor is \$23,716.50. Payment of common charges shall come from the Sponsor's own funds.

Real Estate Taxes

The aggregate monthly real estate taxes payable for units/lots owned by the Sponsor is \$1,618.05. Separate real estate taxes will not be assessed until a unit is built and title to the unit has closed. Payment of taxes comes from the Sponsor's own funds.

Financial Statements

Attached hereto as Exhibit B are the Financial Statements for Central Square Villas for the year ending December 31, 2010.

Leased Units

There are no units owned by the Sponsor which are occupied by tenants.

Financial Obligations of Sponsor/Sources

There are currently no repair and improvement obligations of the Sponsor. The Sponsor will pay its obligations for unsold units out of its own funds. The Sponsor is current in all financial obligations relating to the Condominium.

Other Condominiums and Homeowners Associations

Following is a list of all other condominiums and homeowners associations in which the Sponsor and/or the principal of the Sponsor currently owns more than 10% of the units:

Country Meadows (File No. CD 07-0377)
Foxcroft Drive and Crownview Terrace, Hamburg, Erie County, New York 14075

Greythorne by Marrano (File No. CD 07-0577) 6330-6350 Main Street, Amherst, Erie County, New York 14221

Hickory Grove Village Condominium (File No. CD 06-0258) 211 French Road, Cheektowaga, Erie County, New York 14227

Laurel Park Condominium (File No. CD 05-0491) 5831 Transit Road, Clarence, Erie County, New York 14032

Springbrook Shores Homeowners Association, Inc. (File No. H 05-0018) Rice Road, Elma, Erie County, New York 14059

Summerfield Farms Phase IV Homeowners Association (File No. HO 06-0054) Avian Way, Lancaster, Erie County, New York 14086

The Courtyard at Pleasant Meadows (File No. CD 07-0185)
Pleasant View Drive and Juniper Boulevard, Lancaster, Erie County, New York
14086

Woodstream Estates Homeowners Association, Inc. (File No. HO 05-0078) Rogers Road, Hamburg, Erie County, Hamburg, New York 14075

The Offering Plans for the above are on file with the New York State Office of the Attorney General and are available for public inspection. The Sponsor is current in all financial obligations relating to the foregoing.

Material Changes

- 1. The unsold Units or Lots have been subjected to two (2) mortgages as of August 31, 2010. Specifically, the Sponsor has granted a blanket mortgage to First Niagara Bank, N.A. covering premises and more in the principal amount of \$18,000,000.00. In addition, Sponsor has granted a second blanket mortgage to First Niagara Bank, N.A. in the amount of \$17,741,143.00 covering unsold units and more. The mortgages were granted to secure existing credit facilities.
- 2. The Declaration as originally submitted and filed with the Office of the Erie County Clerk and the NYS Attorney General's Office did not contain the applicable and required Fannie Mae provisions. The Declaration was re-recorded with the Erie County Clerk to reflect the corrections which were inadvertently omitted in the original submission. A copy of the changes to the recorded Declaration is attached hereto as Exhibit C.
- 3. The plans and specifications for the clubhouse are changed from the time of the initial submission. Attached hereto as Exhibit D are the revised drawings and specifications for the Central Square Villas Clubhouse.
- 4. The Sponsor has made changes to the Specifications and Drawings for the Cambridge, Livingston, Winston and York units/buildings as shown on the attached specifications, drawings and Engineers Report (dated as of March 3, 2011) all of which are attached hereto as Exhibit E.
- 5. The above referenced plans and specifications also reference a square footage change as further detailed in the attached revised Schedule A, revised footnotes to Schedule A, RPS letter dated April 27, 2009 and revised Schedule B-1. See attached Exhibit F.
- 6. This is a price change amendment affecting the units referenced on the price change summary, attached as Exhibit G.

No Other Material Changes

There are no other material changes of facts or circumstances affecting the property or the state of facts set forth in the original Offering Plan except as indicated herein.

THE MARRANO/MARC EQUITY CORPORATION

Exhibit A

1. Lot 1805, 28 Hanover Street, Lancaster New York	Closed 4/16/10
2. Lot 2004, 2 Hanover Street, Lancaster, New York	Closed 4/30/10
3. Lot 3605, 45 Hanover Street, Lancaster, New York	Closed 6/16/10
4. Lot 2002, 6 Hanover Street, Lancaster, New York	Closed 6/22/10
5. Lot 1701, 48 Hanover Street, Lancaster, New York	Closed 6/24/10
6. Lot 1704, 42 Hanover Street, Lancaster, New York	Closed 6/24/10
7. Lot 3703, 33 Hanover Street, Lancaster, New York	Closed 6/25/10
8. Lot 1702, 46 Hanover Street, Lancaster, New York	Closed 6/28/10
9. Lot 1601, 56 Hanover Street, Lancaster, New York	Closed 6/29/10
10.Lot 1703, 44 Hanover Street, Lancaster, New York	Closed 6/30/10
11.Lot 1705, 40 Hanover Street, Lancaster, New York	Closed 6/30/10
12. Lot 1706, 38 Hanover Street, Lancaster, New York	Closed 6/30/10
13.Lot 2001, 8 Hanover Street, Lancaster, New York	Closed 7/15/10
14. Lot 1603, 52 Hanover Street, Lancaster, New York	Closed 8/19/10
15.Lot 1906, 10 Hanover Street, Lancaster, New York	Closed 9/28/10
16. Lot 1502, 62 Hanover Street, Lancaster, New York	Closed 10/8/10
17.Lot 1905, 12 Hanover Street, Lancaster New York	Closed 10/8/10
18.Lot 1903, 16 Hanover Street, Lancaster, New York	Closed 10/29/10
19.Lot 1504, 58 Hanover Street, Lancaster, New York	Closed 11/1/10
20.Lot 1306, 74 Hanover Street, Lancaster, New York	Closed 12/29/10

Exhibit B

FINANCIAL STATEMENTS

For the year ended December 31, 2010

David M. Lorka Certified Public Accountant

716/674-1702 Fax: 716/674-1653

DAVID M. LORKA CERTIFIED PUBLIC ACCOUNTANT

664 Center Road West Seneca, New York 14224

INDEPENDENT ACCOUNTANT'S REVIEW REPORT

Board of Managers Central Square Villa Condominium

I have reviewed the accompanying balance sheet of Central Square Villa Condominium as of December 31, 2010 and the related statements of revenues, expenses and changes A review includes primarily applying analytical procedure to management's financial data and making inquires of the Association's management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, I do not express such an opinion.

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for the designing, implementing and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

My responsibility is to conduct the review in accordance with Statements on Standards for Accounting and Review issued by the American Institute of Certified Public Accountants. Those standards require me to preform procedures to obtain limited assurance that there are no material modifications that should e made to the financial statements. I believe that the results of my procedures provide a reasonable basis for my report.

Based on my review, I am not aware of any material modification that should be made to the accompanying financial statements in order for them to be in conformity with accounting principles generally accepted in the United States of American.

The Association has not presented the required supplementary information about future major repairs and replacements costs of common property, which the American Institute of Certified Public Accountants has determined is required to supplement, although not required to be part of the basic financial

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February 3, 2011

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Balance Sheet

As of December 31,2010 With Comparative Totals for 2009 See Independent Accountant's Review Report

	Operating Fund	Reserve Fund	2010 <u>Total</u>	2009 <u>Total</u>
<u>ASSETS</u>				
Cash Prepaid insurance Interfund balances	\$(2,581) 4,389 11,521	\$19,209 - (<u>11,521</u>)	\$16,628 4,389	\$(1,675) 722 ———
	<u>\$13,329</u>	\$ 7,688	<u>\$21,017</u>	<u>\$ (953</u>)
ing.				
<u>LIABILITIES</u> Advanced payments-developer Accounts payable	\$ 6,298 3,331	\$ - 	\$ 6,298 3,331	\$(1,953)
	9,629	PARTITION AND ADJUST	9,629	(1,953)
Fund balances	3,700	7,688	11,388	1,000
Total liabilities and fund balances	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$(953</u>)

Statement of Revenues, Expenses and Changes in Fund Balance

For the year ended December 31,2010
With Comparative Totals for 2009
See Independent Accountant's Review Report

REVENUES	Operating <u>Fund</u>	Reserve <u>Fund</u>	2010 <u>Total</u>	2009 <u>Total</u>
Interest	\$ 8	\$ -	\$ 8	ċ
Rent	200	·	۶ 8 <u>200</u>	\$ -
Total revenues	208		208	
EVENIGE				
EXPENSES				
Administrative -				
Management	10,800	***	10,800	1,800
Insurance	13,979	-	13,979	2,131
Professional	100		100	-
Miscellaneous	185	-	185	133
Utilities -				
Electric	2,636		2,636	
Water	8,516	-	8,516	
Gas	1,286		1,286	
Cable	969	-	969	_
Maintenance -				
Landscaping	5,394	<u></u>	5,394	_
Clubhouse	865	_	865	
Pool maintenance	8,537		8,537	***
Repairs	368	***	368	4,999
Snow removal	17,737	_	<u>17,737</u>	-, -, -
Total expenses	71,372		71,372	9,063
Excess (deficit) of revenues				
over expenses	(71,164)		(73 364)	(0 000)
	(11,104)	-	(/1,164)	(9,063)
Beginning fund balances	1,000	~	1,000	~
Working capital contributions	2,700		2,700	1,000
Developer contributions	71,164	7,688	78,852	9,063
Ending fund balances	<u>\$ 3,700</u>	<u> </u>	\$11,388	\$ 1,000

The accompanying notes are an integral part of the financial statements.

Statement of Cash Flows

For the year ended December 31, 2010
With Comparative Totals for 2009
See Independent Accountant's Review Report

Cash flows from operating activitie Excess (deficiency) of revenues	Operating <u>Fund</u> s	Reserve Fund	e 2010 <u>Total</u>	2009 <u>Total</u>
or expenses Adjustments to reconcile excess (deficit) of revenues over expenses to net cash provided by operating activities: (Increase) decrease in:	\$(71,164)	\$ -	\$(71,164):	\$(9,063)
Prepaid insurance Increase (decrease) in:	(3,667)	_	(3,667)	(722)
Advance payments-developer Accounts payable	8,251 <u>3,331</u>	-	8,251 3,331	(1,953)
Net cash provided (used) by operating activities	(<u>63,249</u>)		<u>(63,249</u>)	(11,738)
Cash flows from financing activitie	s			
Interfund borrowing	(11,521)	11,521	-	-
Working capital contribution		-	2,700	1,000
Developer contribution Net cash provided (used)	71,164	<u>7,688</u>	78,852	9,063
by financing activities	62,343	19,209	18,303	10,063
Net increase (decrease) in cash	(906)	19,209	8,552	(1,675)
Cash at beginning of year	(<u>1,675</u>)	Address of the first state of the state of t	(<u>1,675</u>)	
Cash at end of year	<u>\$(2,581</u>)	<u>\$19,209</u>	<u>\$16,628</u> \$	(1,675)

The accompanying notes are an integral part of the financial statements.

Notes to Financial Statements

December 31,2010 See Independent Accountant's Review Report

Note 1 - Organization:

Central Square Villa Condominium, (the Association) is an unincorporated statutory condominium association organized in the State of New York for the purpose maintaining and preserving common property of the Association. Central Square Villa Condominium consists of 37 units as of December 31, 2010

Note 2 - Summary of Significant Accounting Policies:

- (A) The Association uses fund accounting, which requires that funds, such as operating funds and funds designed for future major repairs and replacements, be classified separately for accounting and reporting purposes. Disbursements from the operating fund are generally at the discretion of the Board of Directors. Disbursements from the reserve fund may be made only for their designated purposes.
- (B) The Board has a policy to allocate interest earned on cash and investment accounts to the operating fund and the reserve fund.
- (C) The Association has elected under provisions of the Internal Revenue Code and state income tax statutes to be excluded from taxes on exempt function income. However the Association is subject to taxes on non exempt function income in excess of non-exempt function expenses.

Note 3 - Assessments:

The Developer is currently reimbursing the Association for all costs.

Notes to Financial Statements, Continued

December 31, 2010 See Independent Accountant's Review Report

Note 4 - Future Major Repairs and Replacements:

The Association s governing documents require that funds be accumulated for future major repairs and replacements. Accumulated funds are being held in separate accounts and are generally not available for expenses for normal activities.

The developer is not funding for major repairs and replacements.

Funds are being accumulated in the reserve fund based on estimates of future needs for repairs and replacements of common property components. Actual expenses may vary from the estimated future expenses and the variations may be material. Therefore, amounts accumulated in the reserve fund may not be adequate to meet all future needs for major repairs and replacements.

Note 5 - Income Taxes:

The Association has elected to file as a homeowner's association in accordance with Internal Revenue Section 528. Under this section, the Condominium excludes from taxation exempt function income, which generally consists of revenue from uniform assessments to owners. The Condominium' investment income and other non-exempt income was subject to tax.

716/674-1702 Fax: 716/674-1653

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DAVID M. LORKA CERTIFIED PUBLIC ACCOUNTANT 664 Center Road West Seneca, New York 14224

INDEPENDENT ACCOUNTANT'S REPORT ON SUPPLEMENTAL FINANCIAL INFORMATION

Board of Managers Central Square Villa Condominium

The accompanying supplemental schedule of changes in Reserve Fund balance for the year ended December 31, 2010 is presented only for analytical purposes and has not been subjected to the inquiry and analytical procedures applied in the review of the basis financial statements. All information included in the schedule is the representation of the management of Central Square Villa Condominium. I did not become aware of any material modifications that should be made to this supplemental information.

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February 3, 2011 .

Schedule of Changes in Reserved Fund Balance

December 31, 2010 See Independent Accountant's Review Report

<u>Description</u>		ginning Fund <u>lance</u>		Additio to Fund	ns -	Charge to Fund	:S	Other		Ending Fund <u>Balance</u>
Sewer-water	\$	_	\$	_	\$		\$	342	\$	342
Gutters		-						176	•	176
Roof				-				2,843		2,843
Roadway resurface		-		-		_		716		716
Exterior wood		-		-				536		536
Brick		-		-		-		167		167
Siding				-		~~		1,545		1,545
Mailbox		_		-		-		21		21
Fence		-				-		129		129
Street light				-		_		112		112
Tot lot		=				-		172		172
Concrete		-		-				501		501
Pool		_				-		274		274
Clubhouse	to the second	***						<u>154</u>		154
	<u>\$</u>	_	\$		<u>\$</u>	_	\$	7,688	\$	7,688

Balance Sheet

As of December 31,2010 With Comparative Totals for 2009 See Independent Accountant's Review Report

	Operating <u>Fund</u>	Reserve Fund	2010 <u>Total</u>	2009 <u>Total</u>
<u>ASSETS</u>				
Cash Prepaid insurance Interfund balances	\$(2,581) 4,389 11,521 \$13,329	\$19,209 - (<u>11,521</u>) <u>\$ 7,688</u>	\$16,628 4,389 \$21,017	\$(1,675) 722 ——————————————————————————————————
<u>LIABILITIES</u> Advanced payments-developer Accounts payable	\$ 6,298 3,331 9,629	\$ - 	\$ 6,298 3,331 9,629	\$(1,953) (1,953)
Fund balances	3,700	7,688	11,388	1,000
Total liabilities and fund balances	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$(953</u>)

The accompanying notes are an integral part of the financial statement.

Exhibit C



ERIE COUNTY CLERKS OFFICE

County Clerk's Recording Page

MARRANO/MARC EQUITY CORPORATION (THE)

Return To:

BOX 85

CENTRAL SQUARE VILLAS

Book: 11182

Page: 2524

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Page Count: 198

Doc Type: DECLARATION

Rec Date: 05/21/2010

Rec Time: 11:19:46 AM

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Recording Fees:

Party 1:

Party 2:

recording Fees:		Consideration Amount:
RECORDING	\$1,010.50	BASIC
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COE STATE \$14.25 GEN	\$14.25	ADDI
COE STATE \$4.75 RM	\$4.75	NFTA MT
	,	(4) (17) (0) (

Total:

\$1,030.50

STATE OF NEW YORK **EFIE COUNTY CLERK'S OFFICE**

WARNING - THIS SHEET CONSTITUTES THE CLERK'S ENDORSEMENT, REQUIRED BY SECTIONS 319&316-a (5) OF THE REAL PROPERTY LAW OF THE STATE OF NEW YORK. DO NOT DETACH. THIS IS NOT A BILL.

> Kathleen C. Hochul **County Clerk**

ERIE COUNTY CLERKS OFFICE

County Clerk's Recording Page

Page Count: 183

Return To: **BOX 85**

Doc Type: **DECLARATION**

Rec Date: 10/07/2009

Book: 11170

Page: 8656

\$0.00

\$0.00

Rec Time: 02:45:35 PM

Control #: 2009202291

Party 1:

User ID: dm

MARRANO/MARC EQUITY CORPORATION

Trans Num: 786879

DEED SEQ:

Party 2:

MTG SEQ:

CENTRAL SQUARE VILLAS

UCC:

SCAR:

INDEX:

TRANSFER

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Recording Fees:		Consideration Amount:	\$0.00
RECORDING	\$935.00	BASIC	\$0.00
COE CO \$1 RET	1.00	SONYMA	•
COE STATE \$14.25 GEN	\$14.25		\$0.00
COE STATE \$4.75 RM	\$4.75	ADDL	\$0.00
		NFTA MT	\$0.00

Total:

\$955.00

STATE OF NEW YORK **ERIE COUNTY CLERK'S OFFICE**

WARNING - THIS SHEET CONSTITUTES THE CLERK'S ENDORSEMENT, REQUIRED BY SECTIONS 319&316-a (5) OF THE REAL PROPERTY LAW OF THE STATE OF NEW YORK. DO NOT DETACH. THIS IS NOT A BILL.

Kathleen C. Hochul **County Clerk**

+RE-BELORD - (542 P52)

This Declaration of Condominium and of Restrictive Covenants, Conditions, Restrictions, Easements, Charges and Liens for <u>Central Square Villas</u> is being re-recorded for the for the following reason:

The document when originally recorded contained several incorrect provisions. The correct provisions are attached hereto and shall be incorporated into the recorded document as if originally recorded on October 7, 2009, in Liber 11170 of Deeds at page 8656

Article III - Description of Buildings

Section 3.01 <u>Buildings</u>. This section is amended to remove the reference to a "Subdivision Map" filed in Erie County. No such map is or will be filed in the Erie County Clerk's Office.

Article IV - The Units

Section 4.01 <u>Designation of Units</u> This section is amended to remove the reference to a subdivision map.

The following language shall be inserted:

"The following surveys are attached to the Declaration to show final "as built" surveys of the following Buildings and Units:

- Building Number 15 by GPI, Job Number 3697-58-64, containing Units 1501, 1502, 1503 and 1504
- Building Number 16 by GPI, Job Number 3697-50-56, containing Units1601, 1602, 1603 and 1604
- Building Number 17 by GPI, Job Number 3697-38-48, containing Units 1701, 1702, 1703, 1704, 1705 and 1706
- Building Number 18 by GPI, Job Number 3697-22-36, containing Units 1801, 1802, 1803, 1804, 1805, 1806, 1807 and 1808
- Building Number 20 by GPI, Job Number 3697-2-8, containing Units 2001, 2002, 2003 and 2004
- Building Number 36 by GPI, Job Number 3697-37-47, containing Units 3601, 3601, 3602, 3604, 3605 and 3606
- Building No. 37 by GPI Job Number 3697-29-35, containing Units 3701, 3702, 3703 and 3704.

Section 4.06 <u>Lot</u> The definition of "Lot" is amended to remove the reference to Subdivision Lot and shall instead mean and refer to the real property directly under a Unit

Article V Common Elements

Section 5.04 Eminent Domain - The following subsection shall be inserted:

(e) Notice to Mortgagee The Board of Managers shall provide timely written notice of said condemnation referenced in section 5.04(c) to each holder of a

mortgage covering any affected Unit or any portion thereof, whose name and address has heretofore been furnished to the Board of Managers

Article IX - Common Charges

Section 9.03 <u>Unpaid Common Charges - Personal Obligation of Unit Owner</u> and Lien on Unit

The following language shall be inserted following the last paragraph in this section:

"Notwithstanding the foregoing, any first mortgagee who obtains title to a Unit pursuant to the remedies in the mortgage or through foreclosure will not be liable for more than six (6) month's of the Units unpaid regularly budgeted common charges accrued before the acquisition of title to the Unit by the Mortgagee. Such first Mortgagee will be liable for any fees or costs related to the collection of unpaid common charges."

Section 9.04 Date of Commencement and Notice of Assessments

The following language shall be inserted following the first paragraph in this section:

"The Board of Managers, when giving notice to a unit owner of a default in paying common charges shall send a copy of such notice to each holder of a mortgage covering such unit whose name and address has heretofore been furnished to the Board of Managers. The mortgagee shall have the right to cure the Unit Owner's default with respect to the payment of common charges or other default of the Unit Owner which could result in a lien against the Unit of such Owner."

Article XI - Obligations, Responsibilities Covenants and Restrictions

The following two Sections shall be inserted following Section 11.06

11.07 <u>Right of Unit Owners to sell units</u> A Unit Owner has the right to sell transfer or otherwise convey his/her Unit to an eligible buyer without the Condominium Board of managers having a the right of first refusal to first

review and approve or refuse the buyer. The Condominium Board of Managers does not maintain a right of first refusal.

11.08 Rights of Mortgage Holders and Guarantors. The mortgagee and any guarantor of the mortgage on any unit shall have the right to timely written notice of (i) any condemnation or casualty loss that affects either a material portion of the Property or the Unit securing the mortgagee; (ii) any 60 day delinquency in the payment of assessments or common charges owed by the Owner of any Unit on which it holds a mortgage, (iii) a lapse cancellation or material modification of any insurance policy maintained by the Condominium; and (iv) any proposed action that requires the consent of a specified percentage of mortgagees.

No Unit Owner or any party shall have priority over any rights of the first mortgagee of a unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements.

Article XII - Amendment and Termination of Declaration

The following section shall be inserted following Section 12.01(e)

12.01 (f) Amendment to Documents:

Notwithstanding the foregoing sections(a) through (e) inclusive, the following shall apply: (i) any amendment of a material adverse nature to Eligible Mortgage Holders must be agreed to by said Eligible Mortgage Holders that represent at least 51% of the votes of units that are subject to the mortgages (ii) any action to terminate the legal status of the condominium project after substantial destruction or condemnation, or for other reasons, must be agreed to by Eligible Mortgage Holders that represent at least 51% of the votes of the units that are subject to the mortgages, and (iii) if an Eligible Mortgage Holder fails to submit a response to any written proposal for an amendment within 60 days after it receives proper notice of the proposal, provided that notice was delivered by certified or registered mail, with return receipt requested, then approval is deemed to be implied.

Schedule B to Declaration: Description of the Buildings

The last line shall be amended to remove the reference to "Subdivision."

Schedule D to Declaration: The By-Laws

Article V - Common Charges and Assessment

Section 5.02 Collection of Assessments

The following language shall be inserted following the last paragraph in this section:

"Notwithstanding the foregoing, any first mortgagee who obtains title to a Unit pursuant to the remedies in the mortgage or through foreclosure will not be liable for more than six (6) month's of the Units unpaid regularly budgeted common charges accrued before the acquisition of title to the Unit by the Mortgagee. Such first Mortgagee will be liable for any fees or costs related to the collection of unpaid common charges."

Section 5.04 Notice of Default

The language: "at request of any mortgagee," shall be stricken

Article VIII - Insurance

Section 8.01 Insurance obtained by Board of Managers

The third paragraph in subsection (1) shall be stricken in its entirety and shall be replaced with the following:

"The proceeds of all policies of physical damage insurance shall be payable to the Board of Managers or to an insurance trustee (bank, trust company, law firm or attorney) selected by the Board of Managers to be applied for the purposes of repairing, restoring or rebuilding unless otherwise determined by the Unit Owners as hereinafter set forth. However, no unit owner or any other party shall have priority over any rights of the first mortgagee of a Unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements."

Article IX - Selling, Mortgaging and Leasing of Units

Section 9.04 shall be inserted following Section 9.03:

"Section 9.04 Rights of Mortgage Holders and Guarantors The mortgagee and any guarantor of the mortgage on any unit shall have the right to timely written notice of (i) any condemnation or casualty loss that affects either a material portion of the Property or the Unit securing the mortgagee; (ii) any 60 day delinquency in the payment of assessments or common charges owed by the Owner of any Unit on which it holds a mortgage, (iii) a lapse cancellation or material modification of any insurance policy maintained by the Condominium; and (iv) any proposed action that requires the consent of a specified percentage of mortgagees.

No Unit Owner or any party shall have priority over any rights of the first mortgagee of a unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements."

NOTE: UNAUTHORIZED ALTERATION OR ADMITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PROVISION 2 OF THE NEW YORK STATE EDUCATION LAW. NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. SET OR EX. 5/8" REBAR 632.79' TO THE WEST LINE OF LOT 12 PLEASANT VIEW (66' WIDE) DRIVE £56 X ห STREET - ROAD 436.57 ф ୪ HANOVER S **#**58 UNIT No. 1504 BUILDING NO. 15 BUILDING NO. 15 5,85 ġ. 20.05 UNIT No. 1503 20.05 UNIT No. 1502 UNIT No. 1501 83.97 Ф SURVEY OF PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6
HOLLAND LAND SURVEY TOWN OF LANCASTER, ERIE COUNTY, NEW YORK REVISION/TYPE GPI ENGINEERING & SURVEYING, LLP FORMERLY PRAIT & HUTH ASSOCIATES, LLP ENGINEERING - SURVEYING - PLANNING APSO CENESEE STREET, SUITE 185 BUFFALO, NEW YORK 14225 (716) 633-4844 FAX 633-Job No. 3697-58-64 Date: MARCH 23, 2010 Scale 1'' = 30'Tax No.

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NOTE: UNAUTHORIETO ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 PHOMISION 2 OF THE NEW YORK STATE EDUCATION LAW. NOTE, THIS SURVEY WAS PREPARED MITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE PLEASANT VIEW (66' WIDE) DRIVE 632.79' TO THE WEST LINE OF LIST 12 15' WIDE EASEMENT TO NEW YORK -TELEPHONE COMPANY L-9136, P-418 S89'05'37"E 180.00 180. Ψ 90.0,0 ROAD 180.00 PRIVATE 8 8 f2 CONVEYED TO Y CORPORATION UNIT No. 2004 WESTERLY LINE OF LANDS OF THE MARRAND/MARC EQUITY LATTER, -6504 STREET BUILDING NO. 20 2 STORY FRAME BLAGGING 12.05' 12.05' UNIT No. 2003 NOD'54'23"E O.6' WIDE WALL 500.54,23" HANOVER UNIT No. 2002 10 UNIT No. 2001 0 NOW OR FORMERLY 89 THE MARRANO/MARC EQUITY CORPORATION L-11152, P-6504 180.00 N89'05'37"W ф-SURVEY OF PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6 HOLLAND LAND SURVEY TOWN OF LANCASTER, ERIE COUNTY, NEW YORK DATE REVISION/TYPE GPI ENGINEERING & SURVEYING, LLP FORMERLY PRAIT & HUTH ASSOCIATES, LLP ENGINEERING . SURVEYING . PLANNING 4950 GENESEE STREET, SUITE 165 BUFFALO, NEW YORK 14225 (716) 633-4844 Job No. 3697-2-8 Date: MARCH 19, 2010 Scale 1" = 30' Tax No.

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632.79' TO THE WEST LINE OF LOT 12 PLEASANT VIEW (66' MDE) ಚ ઇ 307.13 539'37'01"IV ф A WESTERLY LINE OF LANDS CONVEYED PLEASANT MEADOWS ASSOCIATES, LLC L-11012, P-165 PRIVATE ROAD 1 S 1 HANOVER STREET UNIT No. 3606 ដ 15 ${\mathfrak V}$ ర v

REVISION/TYPE

SURVEY OF PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6
HOLLAND LAND SURVEY

TOWN OF LANCASTER, ERIE COUNTY, NEW YORK



GPI ENGINEERING & SURVEYING, LLP FORMERLY PRATT & HUTH ASSOCIATES, LLP ENGINEERING - SURVEYING - PLANNING 4850 GENESEE STREET, SUITE 185 BUFFALO, NEW YORK 14225

(716) 633-4844 FAX 633-4940

Job No. 3697-37-47 Scale 1" = 30'

Date: MARCH 23, 2010

Tax No.

NOTE: UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A WOLATION OF SECTION 7208 PROVISION OF THE NEW YORK STATE EDUCATION LAW. NOTE. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. SET OR EX. 5/8" REBAR 0 2 STORY FRAME BUILDING BUILDING No. 0 凹 9.00 გ

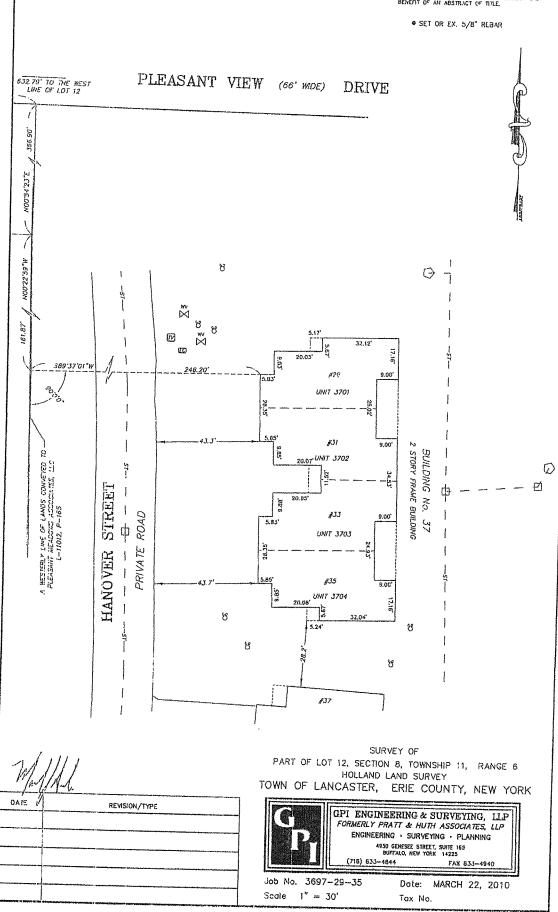


Exhibit D

Revised: 12/15/09

Supercedes: 10/27/09

THE MARRANO/MARC EQUITY CORPORATION

SPECIFICATIONS FOR

CENTRAL SQUARE VILLAS CLUBHOUSE

PURCHASER:

ADDRESS:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

GENERAL DESCRIPTION - ALL TRADES

CODE#

- 1. Building to Include:
 - a. 1,248 Square Feet of Floor Area
 - b. Managing Office
 - ~ 3'-0 Therma Tru Smooth Star S130 Fiberglass Door
 - Includes Internal Blinds, Tilt & Raise/Lower
 - Dull Brass Hinges & Aluminum Sill
 - c. Activity Room
 - $\sim\,$ (2) Commercial Grade 6'-0 x 6'-8 Double Outswing Doors by Twin City Glass
 - ~ Kitchen Area
 - ~ Closet with Bi-pass Doors
 - d. Equipment Room
 - ~ 3'-0 Therma Tru Smooth Star S210 Door
 - Dull Brass Hinges & Aluminum Sill
 - 3'-0 FF-21 6-Panel Steel Fire Door at Equipment Room / Activity Room
 - Dull Brass Hinges & Aluminum Sill
 - Fire Rated Taped Drywall No Trim No Painting No Flooring Insulated Exterior Walls – Sound Reduction Insulation at Walls adjoining Activity Room & Patio Storage Room
 - Houses Furnace, Hot Water Tank, Sump, Mop Sink,
 Electrical Panel Box and Pool Filter

ALL TRADES - SEE GENERAL DESCRIPTION

Revised: 12/15/09

Supercedes: 10/27/09

- e. Patio Storage Room off Activity Room
 - 5'-0 x 6'-8 Double Hardboard Doors with T-astragal &
 Surface Bolt with Privacy Knob on Active Door Only
 - Finished Drywall Painted Walls Vinyl Plank Flooring with Vinyl Cove Base by Kenny Enterprise
- f. (2) Half Baths
 - 3'-0 Commercial Door at Bath Hall to Exterior & Bath Hall to Activity Room by Twin City Glass
 - Hardboard Door with Deadbolt with Thumblatch at Bath Hall / Activity Room
- g. 10'-0 Finished Ceilings
 - ~ Dropped Ceiling Tiles with Fluorescent Fixtures Throughout, Including Equipment Room & Patio Storage Room
- h. 7/16" OSB Sheathing Board Roof and Side Walls
- i. Slab on Grade
- j. Security System
- k. Pella Encompass Vinyl Double Hung Window in Managing Office
 - ~ White Exterior & Interior
 - ~ Insert at Top Sash Only

Central Square Villas Clubhouse	Page 3	Revised: 12/15/09 Supercedes: 10/27/09
WINDOWS 12	Pella Encompass Vinyl Insulated Double a. Managing Office: (1) Double Hung	Hung Window
PATIO DOORS 13	 (2) 6'-0 Double Outswing Commercial Grade (1) 3'-0 Outswing Commercial Grade Doc (1) 3'-0 Interior to Activity Room 	ade Doors off Activity Room or at Bath Hall Exterior
INSERTS & SCREENS	Insert at Top Sash Only Screen at Double Hung Window in Manage	ging Office
DOORS 15	 (1) Therma Tru Smooth Star S130 Fibergle Tilt & Raise / Lower a. Managing Office (1) Therma Tru Smooth Star S210 Fibergle a. Equipment Room Entry (1) FF21 Steel Fire Door at Equipment Roea. Primed Frame – Door to be Painted by Door Hardware (Excludes Commercial Does a. (2) Exterior Doors & (1) Fire Door: Schlage Plymouth Key-n-Knobs with Antique Brass Finish Interior Doors: Schlage Plymouth Knob 	ass Door om / Activity Room Painter ors): Double Cylinder Deadbolts -
ROOFING 25	 3-in-1 Butt Tab Roof Vents and/or Ridge Vents as per Plan Ice Shield at Gutter Areas Only (2) Covered Patios off Activity Room 	
IDING 26	 Vinyl Siding - Double 4" Maintenance Free Soffit System Vinyl Ceilings at (2) Covered Patios off Activ 	rity Room

ALL TRADES - SEE GENERAL DESCRIPTION

Central Square Villas Clubhouse	Page 4	Revised: Supercedes:	
HEATING 28	 Gas Forced Air Heat - 80% Efficient Furnace Including Equipment Room & Patio Storage Central Air Conditioning Including Equipment Room & Patio Storage Honeywell TH4110 Set-Back Thermostat Add Ductwork for: Kitchen Hood Fan (2) Half Baths – Broan #671 70 CFM Fans Exhaust Fans Vent to Roof Jacks Venting for 40 Gallon Hot Water Heater Venting in Equipment Room for Pool Equipment 	Room	
PLUMBING 27	 (2) Half Baths: a. ProFlo 194RWH 19" Round White Sinks ~ Kohler K-P15182-FD-CP Chrome Faucets b. Kohler K-4304-0/4645-0 Power Flush White Bemis 170000 Seats 2. Kitchen Area in Activity Room: a. ProFlo PFT252273 25 x 22 Stainless Steel Since Kohler Coralais K-15173 Chrome Faucet with Chrome Strainer 	Toilets with	•

- b. No Gas Line to Range Area
- 3. Equipment Room:
 - a. ProFlo PFZ199624 24 x 24 x 10 Mop Basin with Cen 897RCF Chrome Service Faucet
 - b. A.O. Smith AGVCL40 Natural Gas Hot Water Heater
 - c. Liberty 237 1/3hp Sump Pump
- 4. ¾" Frost Free Hose Faucet at Half Baths Wall
- 5. (3) 3" Floor Drains (1) in Equipment Room, (1) in Each Half Bath with Trap Primers on Floor Drain
- 6. PVC Wastes and Vents Above / Below Floor, Run Outside
- 7. Type "CPVC" Water Lines above Floor
- 8. 1" K Copper Water Main Run into Equipment Room

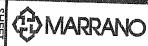
Central Square Villas Clubhouse	Page 5 Revised: 12 Supercedes: 10	
ELECTRICAL	Wire for Basic Exhaust Fans in (2) Half Baths	
29		
	2. GFCI Protected Outlets in Kitchen & (2) Half	
	3. (2) Exterior GFCI Protected Weatherproof Oເ 4. 30" Hood Fan above Range	utlets
	5. Wire for Central Air Conditioning	
	6. 150 AMP Service	
	7. 220 Line to Range Area	
	8. Fluorescent Fixtures in Dropped Ceiling Tiles	
	Including Equipment Room & Patio Storage R	
	Exterior Lights at Managing Office, Patio Dool Entry & Equipment Room	rs, Half Bath Hall Exterior
	Emy & Equipment Room	
AUDIO / VIDEO	1. (3) Phone Outlets	
29		W. 111 W. 2
	a. (1) Managing Office, (1) Exterior at Half Ba	ath Wall for Restricted Use
	Emergency Phone, (1) in Activity Room 2. (2) Cable TV Outlets	
	a. (1) Managing Office, (1) Activity Room	
	a, (1) Managing Office, (1) Activity Room	
NSULATION	Firewall per Plan	
35		(O.O.(O!!)
	 Throughout - With 2 Mil Polywrap: R-13 Walls Insulate Equipment Room Exterior Walls 	(3 3/8"); R-38 Ceiling
		147 D
	 Sound Reduction Insulation at Equipment Roor Activity Room and Patio Storage Room 	m VValls adjoining
	Styrofoam Baffles in Rafter Bays at Soffit	
	James III I I I I I I I I I I I I I I I I I	
/ALLBOARD	1. Firewall per Plan	
36	Board Complete Building	
	a. Fire Rated Taped Drywall in Equipment Roo	
	Dropped Ceiling Tiles Throughout, Including Equ	orina e de D
	Patio Storage Room	uibilieut Koom &
	Activity Room Bi-pass Closet Door Opening – M	otal Campa B
	Corner Only	etal Corner Bead Inside

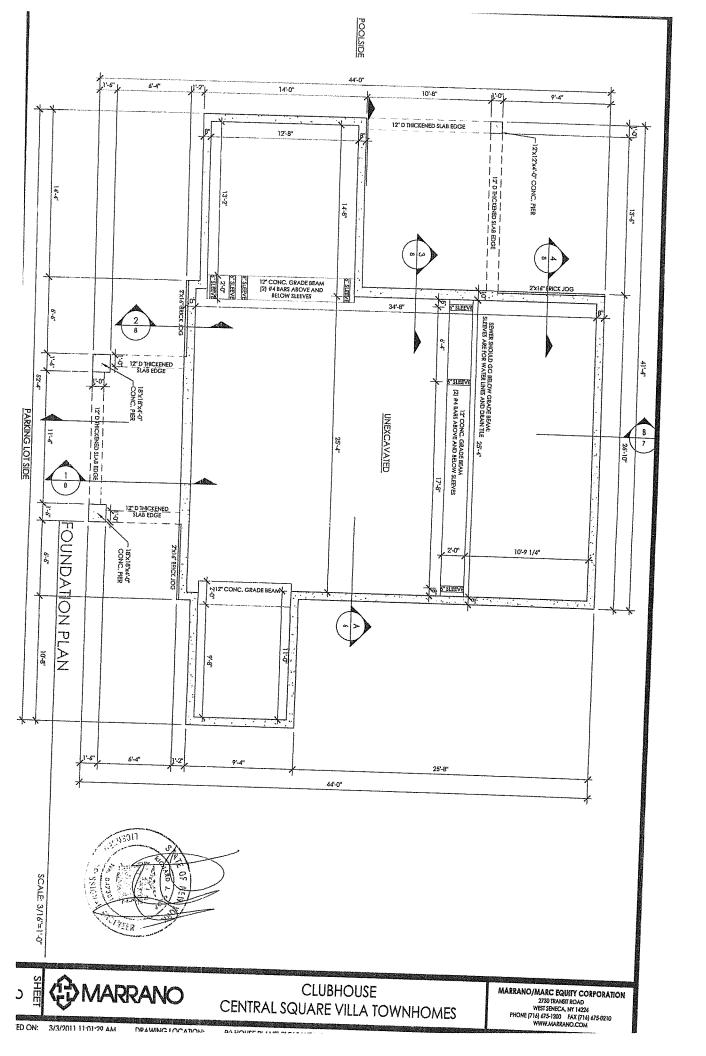
Central Square Villas Clubhouse	Page 6	Revised: 12/15/09 Supercedes: 10/27/09
GUTTERS 24	1. 5" Aluminum with 3" Conductors	
SHEET VINYL 42	 Vinyl Plank Flooring with Vinyl Cove Base T Storage Room EXCLUDES Equipment Room 	hroughout, Including Patio
APPLIANCES 41	 Whirlpool Appliances: a. Microwave/Hood/Fan Combo – WMH217 b. Range – Electric - WFE361LV c. Refrigerator – W2RXEMMW 	75XV
CABINETS 40	 Kitchen & (2) Half Baths a. Homecrest Mora Bay Cabinets with Handle b. No Cabinet above Refrigerator 	les or Knobs
TRIM 18 - 19	 Interior Doors – Safe & Sound Smooth 6-Pan MDF Colonial Casing Throughout, Including Pations EXCLUDES Equipment Room Vinyl Cove Base Throughout, Including Pations EXCLUDES Equipment Room Activity Room Closet Opening Cased with Sider and Top – Room Side Only 	atio Storage Room Storage Room
PAINT 37	 EXTERIOR: a. Door at Managing Office INTERIOR: a. Paint 1. Interior Walls Throughout, Including Patient (1) Color Throughout – (2) Coat Flat Finist a. DO NOT PAINT Equipment Room Walls 	sh

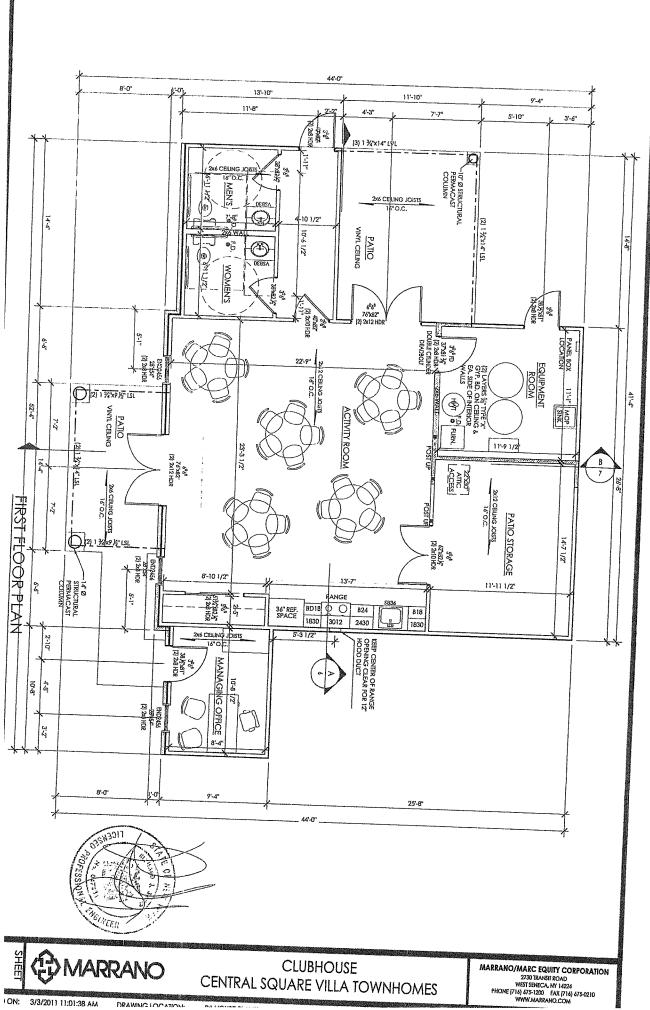
Central Square Villas Clubhouse	Page 7	Revised: 12/15/09 Supercedes: 10/27/09
PAINT (Cont'd)		
	2. INTERIOR - Cont'd.	
	a. Paint – Cont'd.	
	2. MDF Interior Trim	
	3. Interior Doors – Safe & Sound 6-Pane	l Hardboard
	DO NOT PAINT Fire Door at Activity Room /	
CERAMIC TILE 42	1. Paper Holders in (2) Half Baths	
COUNTERTOPS	Plastic Laminate in Kitchen & (2) Half Baths	
43	a. Allowance: Formica	
	b. Standard Post Form Style with Waterfall E	Edge Detail
CARPET	Managing Office	
45	a. 50530 Neyland II Commercial Carpet with	Millenia Pad
WIRRORS 63	1. (2) Half Baths: 30" x 42"	
CONCRETE	(2) Patios off Activity Room	
53	a. (1) 16'-4 wide x 8'-4 deep	
	b. (1) 14'-8 wide x 11'-10 deep	
HELVING 18	Ventilated Vinyl Coated Wire Shelving in Activity Room Closet	

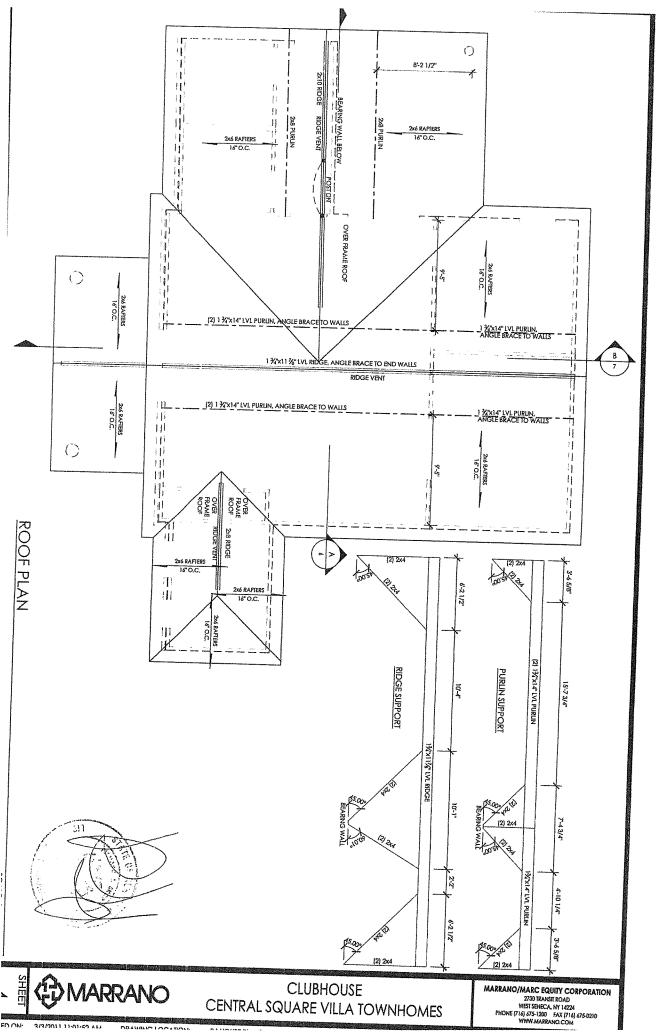
MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD

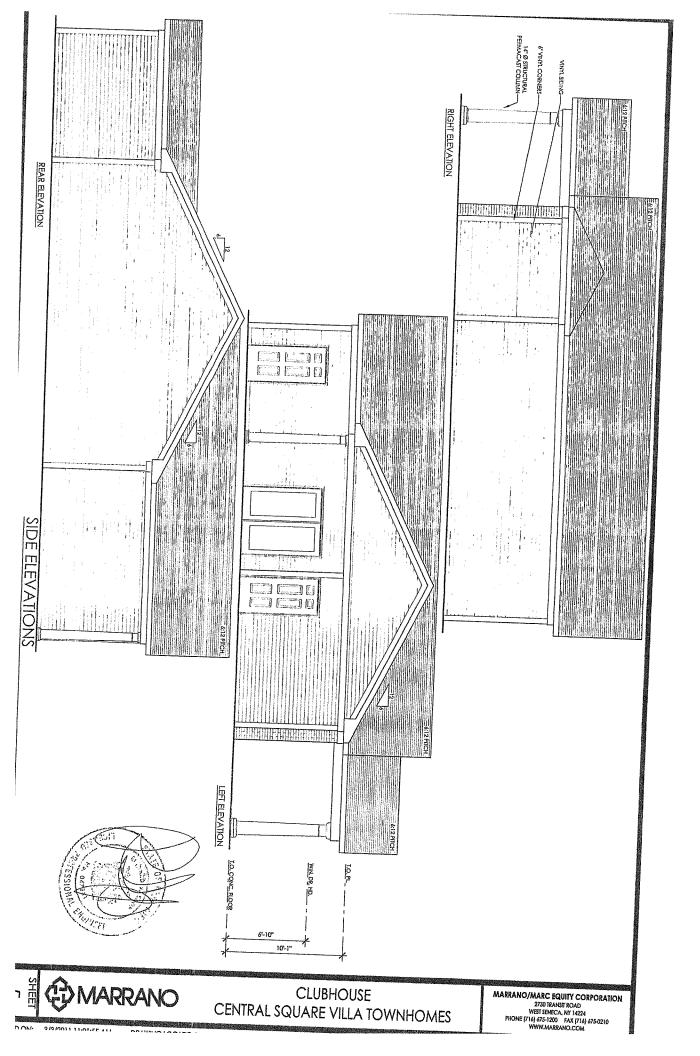
PHONE (716) 675-1200 FAX (716) 675-0210 WWW.MARRANO.COM		E			RICHARD 1. SKOP 3/60/RT, 394 3/60/RT, 394 PO. BOTTON 161 PHONE-1743 725-4890 (FAX (714) 763-6854
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III. (II) LATER OF THE A CHELLAR BOARD ON GLANGE CELLIG	PI PER RESERVE COUNT AND HEIGHT	ALCONERMAZED COMES PAUL BE 7. TANKISTAZED TO THE FULL DATES WALL CO REST VIA BEAVE, POSTS, ANDIOR SOLD B.	ALI ROOF OVERHAUGLARE, 15, JUSQUED FEDMACCOF SYETOR SHEATENCE, ENCIC 244 COLLAR TIES 48" O.C.		IST FLOOR GROSS: 1248 S.F. 20th FLOOR GROSS: 1924 S.F. CLERESTORY SPACE: VIA CARAGE: VIA PORCHIES! 296 S.F. BASE-MENT SLAB: 1248 S.F. GARAGE SLAB: NIA
	RISER COUNT AND HEIG TYPICAL CEIL 9'-0' BASEMENT ³	10085 9:-1" 181/2ND FLOORS	D. UNILESS NOTED OTHERWISE	SNOIL	17
13 # 7.65" 54.04 (1977)	148725560(103) 158725660(116) 1497, 148725560(103) 15872560(116) 1487, 148725560(103) 15872560(116) 14872 14872550(103) 15882560(103) 14872		17.5.7.71" BOCH 1197 1 10. ON CRIEFE 17.5.7.82" ESCH 1193 1 10. TOP OF WALL 17.5.7.84" ESCH 11935 1 10.C. TOP OF CONCREE 17.5.7.7.85" ESCH (1335) 1 PL CENTRE IN E	MONOTORE DETECTOR MONOTORE DETECTOR MONOTORE DETECTOR	NEET DESCRIPTION PROFESSION PROFESSION POUNDATION PLAN PROFESSION PLAN PROFESSION PLAN PROFESSION PLAN
13) Skil Plates requised at 10P of Concrete Wall 170P of Basement Siab is 1" above top of Footing			IN G	Bolt Strike chance as	
** PASSAHOT SUAS AGE SYTHICK, RESES WILL NEED TO BE RECALCUATED FOR CHERENT FLOOR SLAS THUCKHESES **PASSAHOT SUAS AGE SYTHICK, RESES WILL NEED TO BE RECALCUATED FOR CHERENT FLOOR SLAS THUCKHESES ABOVE REPRESENT THE OVERALL HEIGHT (CONCRETE TO 059/053 TO 059), NOTE THAT IF HARDWOOD FLOOR OR CERAMIC IS PURCHASED, APPROPRIATE ADDITIONS MUST BE **ANDE AND THE RESEX HEIGHTS RECALCULATED **CONCRETE TO 059/053 TO 059/053 TO 059, NOTE THAT IF HARDWOOD FLOOR OR CERAMIC IS PURCHASED, APPROPRIATE ADDITIONS MUST BE	ATEO FOR DEFERENT FLOOR SLAB THEORYSES (CONCRETE TO OSB/OSB TO OSB), NOTE THAT IF HARDWOOD F	LOOR OR CERANIC IS PURCHASED, APPROPRIATE ACIDINO	LSL LAMINATED STRAND LUMBS OSB ORIENTED STRAND BOARD M/ME MARRANO/MARC EQUITY	R	SOF ELEVANDUS SECTION A BECTION BETTER STATES WATER STATES AND S







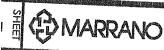






MARRANO

CLUBHOUSE CENTRAL SQUARE VILLA TOWNHOMES MARRANO/MARC EQUITY CORPORATION
2730 TRANST ROAD
WEST SENECA, NY 14224
PHONE [716] 475-1200 FAX [716] 475-0210
WWW.MAARRANO.COM



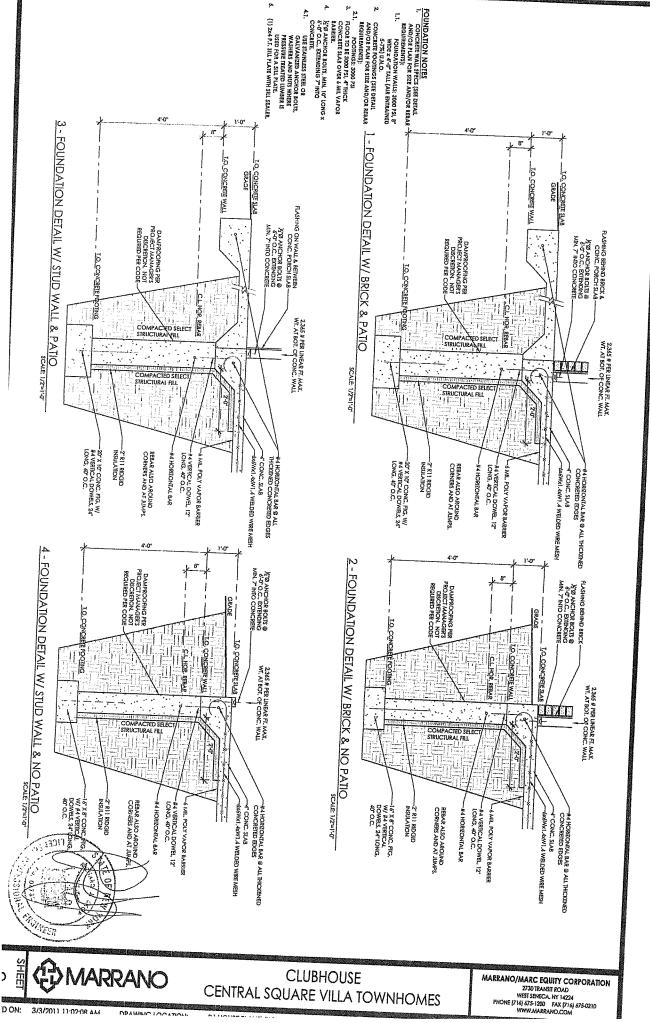


Exhibit E

Changes in Patio Home Specs CENTRAL SQUARE VILLAS CAMBRIDGE

	General
1.	Changed square footage from 1,241 / 1,243 / 1,247 / 1,267 to 1,236 / 1,238 / 1,243 / 1,270 square feet of floor area.
2.	Removed prewire for future security system.
	Windows
3.	Changed family room – (1) twin double hung to family room rear wall – (1) twin double hung.
4.	Added family room end wall – (2) single double hungs – end units only.
	Siding
5.	Added Green Guard value house wrap.
	Electrical
6.	Deleted prewire for future security system.
7.	Changed 150 AMP service to 125 Amp service.
	Insulation
8.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
	Appliances
9.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
10.	Changed carpet allowance from Mohawk 0420 Martial Line 14
THE STREET WAS TO BE	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.

Revised: 1/01/11

Supercedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION SPECIFICATIONS FOR

CENTRAL SQUARE VILLA TOWNHOMES THE CAMBRIDGE 2011 SPECS

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

GENERAL DESCRIPTION - ALL TRADES

CODE#

- 1. Two Story with:
 - a. 1,236 / 1,238 / 1,243 / 1,270 Square Feet of Floor Area
 - b. Elevation "1" with 8'-0 x 6'-0 Covered Front Porch with
 - (1) Wood Post and Vinyl Ceiling
 - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
 - Crystal Diamonds Lite with Brass Caming
 - ~ FF-21 6-Panel Steel Fire Door at Garage / Laundry Room
 - c. (1) Car Attached Garage with 9'-0 Overhead Door
 - d. (2) Bedrooms
 - e. 1 ½ Baths
 - ~ Powder Room: Oval Bevel Mirror
 - ~ Main Bath: 36" x 42" Mirror
 - f. 8'-0 Finished Ceilings 1st and 2nd Floors
 - g. "U" Staircase with Stained Cap at Half Walls at Center of Stairs and Upper Hall
 - h. Family Room
 - i. Kitchen
 - 45" high Half Wall with Stained Cap at Kitchen / Family Room & Kitchen / Dinette
 - j. Dinette
 - k. Laundry Room

1/01/11

Supercedes: 11/01/10

- I. 7'-0 Basement Walls
 - ~ No Window in Basement
 - ~ Delta MS Foundation Water Barrier
- m. 7/16" OSB Sheathing Board Roof and Side Walls
- n. ¾" OSB Subfloor Throughout
- o. No Fireplace
- p. Pella Encompass Vinyl Double Hung & Casement Windows
 - ~ White Exterior and Interior
 - Inserts between the Glass Pre-finished White both Sides at Upper Sash Only at Front Windows

The Cambridge Elevation 1	Page 3 Revised: 1/01/1 Supercedes: 11/01/		
WINDOWS	Vinyl Insulated Double Hung & Casemer	nt Mindous	
12	a. Pella Encompass – White Exterior		
	2. Family Room Rear Wall – (1) Twin Doub		
	3. Family Room End Wall – (2) Single Doub		
	4. Bedroom #2 – (1) Twin Double Hung	ble Hungs — End Units Only	
	5. Master Bedroom – (2) Single Casements	:	
PATIO DOOR	Dinette – 6'-0 Sliding Door		
13	a. Pella Encompass – White Exterior &	& Interior	
INSERTS & SCREENS	Pre-Finished White Inserts between the C	Glass at Upper Seek Only of	
14	Front Windows Only	sides at Opper Sasii Only of	
	Full Screens on Double Hung & Casemer	nt Windows	
	Screen at Dinette Sliding Door	it vviidows	
DOORS	1. Exterior:		
15	a. Front Entry: Therma Tru Smooth Star	Fiboralasa Daga	
	b. Garage / Laundry Room: FF-21 6-Panel Steel Fire Door		
	Factory Finished Frame – Door Painted by Big "L" Dist.		
	Door Hardware:		
	a. Interior Doors: Schlage Knobs – Antique Brass Finish		
	b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish		
	c. Front Door: Schlage Knob with Single Cylinder Deadbolt -		
	Antique Brass Finish	oyimadi Bedabok -	
GARAGE DOOR	1. 9'-0 x 7'-0 - (4) Section (4) Raised Panel S	teel - Model #5120	
24	a. Pre-finished - No Painting	100001 #0 120	
OOFING	1. 3-in-1 Butt Tab		
25	2. Roof Vents and/or Ridge Vents as per Plan		
	Ice Shield at Gutter Areas and at Roof Pitch		
	4. Covered Front Porch		

The Cambridge Elevation 1	Page 4 Revised: 1/01/11 Supercedes: 11/01/10				
SIDING	Vinyl Siding - Double 4"				
26	Maintenance Free Soffit System				
	Vinyl Ceiling at Front Porch				
	Green Guard Value House Wrap				
HEATING	Gas Forced Air Heat - 80% Efficient Furns				
28	Honeywell TH-4110 Set-Back Thermostate				
	3. Add Ductwork for:	L Comments			
	a. Kitchen Hood Fan to be NON-DUCTE	٦			
	b. Powder Room – Broan #688 50 CFM				
	c. Main Bath – Broan #671 70 CFM Fan	i aii			
	d. Laundry Room – Broan #688 50 CFM Fan & Dryer Vent				
	e. Exhaust Fans Vent to Roof Jacks				
	Venting for 40 Gallon Hot Water Heater				
	5. Prep for Future Air Conditioning on Furnace – No Coil				
	Cold Air Returns Raised near Ceiling in All Air Conditioning	Bedrooms for Future			
PLUMBING	1. Main Bath:				
27	 a. Sterling 71090110/20-0 Acclaim 60" x 3 White with Shower Rod 				
	~ Kohler K-P304-K-NA/P15601-4S-CP b. (1) Sterling 442044-0 Elliot 20" x 17" Sin	k – White			
	 Kohler K-P15182-LD-CP Chrome Lever Handle Faucet 				
	c. Sterling 404015-0/404515-0 Round Toile2. Powder Room:	et with Bemis #70 Seat - White			
	a. (1) ProFlo PF4600/4604 Pedestal Sink – White				
	~ Kohler K-P15182-LD-CP Chrome Levi				
	b. Sterling 404015-0/404515-0 Round Toile	t with Bemis #70 Seat - White			

1/01/11

Supercedes: 11/01/10

PLUMBING (Cont'd)

- 3. Kitchen:
 - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole
 Double Bowl Sink
 - ~ Kohler K-P15171-CP Chrome Faucet No Spray Hose
 - ~ Chrome Strainer
 - b. Dishwasher Hook-up
 - c. No Disposal
- 4. Laundry Room Washing Machine Box
- 5. No Laundry Tray
- 6. 40 Gallon Hot Water Heater Gas
- 7. 1750 GPH Submersible Sump Pump in Basement
- 8. (2) Exterior Cold Water Faucets (1) at Front, (1) at Rear
- 9. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

- 1. (1) Control Plug in Family Room and All Bedrooms
- 2. Wire for Basic Exhaust Fans in Powder Room, Main Bath and Laundry Room
- 3. GFCI Protected Outlets in Kitchen, Powder Room and Main Bath
- 4. (1) 15 AMP GFCI Protected Outlet in Basement
- 5. (1) 15 AMP GFCI Protected Outlet in Garage
- 6. (2) Exterior GFCI Protected Weatherproof Outlets -
 - (1) at Front, (1) at Rear
- 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
- 8. Hook-up Dishwasher
- 9. No Disposal
- 10. Wire for Future Garage Door Opener
- 11. 125 AMP Service
- 12. All Basement Lights on (1) Switch
- 13. No 220 Lines to Range or Dryer Areas

The Cambridge Elevation 1	Page 6 Revised: Supercedes:		1/01/11 11/01/10	
ELECTRICAL (Cont'd)				
	14. Recess Lights:			
	a. Lower Hall at Staircase / Powder Room:	(2) Recess on 3	R MON Christia	
	b. Kitchen: (1) Recess above Sink	(2) 1100033 0// (o-way Switc	
	15. Fluorescent Fixture:			
	a. Laundry Room: 4'-0 Covered Fixture			
	b. Master Walk-in Closet: Covered Fixture			
	16. Pre-selected Exterior Fixtures:			
	a. Front Entry & Garage Front			
	b. Dinette Door			
	17. Interior Fixtures per Package			
AUDIO / VIDEO	1. (2) Phone Outlets			
29	2. (3) Cable TV Outlets			
	3. 2" PVC Chase from Basement to Attic Crawl	Space for Future	Wiring	
NSULATION	Firewall per Plan			
35	Living Space Only - With 2 Mil Polywrap:			
	R-13 Walls (3 3/8"); R-38 Ceiling			
	White-Faced "Wallfast" R-19 Basement Blanke			
	Per Town Codes	et Insulation -		
	Styrofoam Baffles in Rafter Bays at Soffit			
ALLBOARD	Firewall per Plan			
36	Board Complete House, Including Garage			
	Texture Spray Ceilings Throughout Except 6	_		
	 Texture Spray Ceilings Throughout, EXCEPT Garage Special: 			
	a. (1) Coat Finished Drywall - Garage Walls ar	-4 O - 11		
	b. All Bi-pass Closet Door Openings – Metal C	a Ceiling		
	Corner Only	orner Bead Insid	e	
	5. Recess Lights – Lower Hall at Staircase / Powd	or Door (0)		
	Kitchen (1)	ei Koom (2),		

The Cambridge Elevation 1	Page 7 Revised: Supercedes:		1/01/11 11/01/10	
WALLBOARD (Cont'd)			11/01/10	
was a same (Goine a)	6. Main Bath - Tub/Shower Module			
	7. Capped Half Walls at Center of "U" Stai	reaso and Unnavillell		
	Capped Half Wall at Kitchen / Family Ro	oom & Kitchen / Dineti	te	
GUTTERS 24	1. 5" Aluminum with 3" Conductors			
SHEET VINYL 42	Foyer, Guest Closet, Powder Room, Kito and Main Bath	chen / Dinette, Laundr	y Room	
	2. Allowance: Armstrong Initiator			
	MDF Base and Shoe Molding Throughout	ut		
	4. Any Sheet Vinyl to Carpet Transition will			
HARDWOOD FLOORS 46	1. Optional			
APPLIANCES 41	1. Dishwasher – Whirlpool DU1015XTX			
CABINETS	Kitchen and Main Bath			
40	Allowance: Homecrest Fulton Oak Finish	Square Recess Pane	el Door	
	a. Handles or Knobs Included	,	. 2001	
	b. No Roll-out Trays			
	c. No Cabinet above Refrigerator			
	Pedestal Sink in Powder Room			
RIM	Interior Doors – Textured 6-Panel Hardboa	ard Throughout		
8 - 19	2. MDF Colonial Casing and Base Throughout			
	 Closet Openings Cased with Side Jambs, Room Side Only 		- Andrew	
	Stained 1 x 8 Cap on Half Wall at Center o Upper Hall	f "U" Staircase and		
ALL	. TRADES - SEE GENERAL DESCRI	PTION		

The Cambridge Elevation 1	Page 8	Revised: 1/01/11		
Lievation 1		Supercedes: 11/01/10		
TRIM (Cont'd)				
	5. Stained Cap at Half Wall at Kitchen /	Family Room & Kitchen / Dinette		
	6. Stained White Pine Hand Rails at Sta	aircase to 2 nd Floor and Basement		
PAINT	1. EXTERIOR:			
37	a. Paint Front Entry Door & Trim			
	2. INTERIOR:			
	a. Stain – (1) Color Throughout			
	Hand Rails and Wood Caps at	Half Walla at Stains		
	Wood Caps at Half Walls at Kite	chen / Family Room and		
	Kitchen / Dinette	many rivern and		
	b. Paint			
	1. Interior Walls - (1) Color Throug	ghout		
	a. (2) Coat Flat Finish			
	2. Basement Stairs and Steel - (1) Coat of Gray			
	3. Interior of Steel Doors - (1) Color			
	a. <u>DO NOT PAINT</u> Garage / La	undry Room Fire Door		
	4. MDF Interior Trim			
	Interior Doors – 6-Panel Hardbo	ard Throughout		
	3. Pre-finished Garage Overhead Door -	DO NOT PAINT		
CERAMIC TILE 42	Towel Bars and Paper Holders			
COUNTERTOPS	Plastic Laminate - Kitchen and Main Ba	ath		
43	a. Allowance: Formica			
	b. Oval Sink in Main Bath			
	2. Pedestal Sink in Powder Room			
ARPET	Lower Hall from Foyer to Family Room,	Family Danie Otalia		
45	Upper Hall and All Bedrooms	Tarrilly NOOHI, Stairs,		
	2. Allowance: Mohawk 1D98 Prime Cut w	vith Classic Rondod Dod		
	(1) Color Throughout	Sidosio Dollucu Faq		
A	LL TRADES - SEE GENERAL DESC	RIPTION		

The Cambridge Elevation 1	Page 9 Revised: 1/01/1 Supercedes: 11/01/1	_
GLASS BLOCK 47	1. None	
MIRRORS 63	 Powder Room: Oval Bevel Mirror Main Bath: 36" x 42" 	
CONCRETE 53	 Front Porch Pad – 8'-0 x 6'-0 Walk and Step from Porch to Driveway Wood Steps Garage to Main House Wood Steps to Grade off Dinette 	
DRIVEWAY 56	1. Blacktop – No Sealer	***************************************
LANDSCAPING 54 SHELVING 18	 Per Subdivision 4" Topsoil Machine and Hand Raked Ventilated Vinyl Coated Wire Shelving in All Closets (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer Area in Laundry Room 	

Changes in Patio Home Specs CENTRAL SQUARE VILLAS LIVINGSTON

	General
1.	Changed square footage from 1,371 $/$ 1,383 $/$ 1,413 to 1,366 $/$ 1,381 $/$ 1,413 square feet of floor area.
2.	Removed prewire for future security system.
	Windows
3.	Changed family room – (2) single double hungs to family room rear wall – (2) single double hungs.
4.	Added family room end wall – (2) single double hungs – end units only.
	Siding
5.	Added Green Guard value house wrap.
	Electrical
6.	Deleted prewire for future security system.
7.	Changed 150 AMP service to 125 Amp service.
	Insulation
8.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
	Appliances
9.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
	Carpet
10.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.

Revised: 1/01/11

Supercedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION SPECIFICATIONS FOR

CENTRAL SQUARE VILLA TOWNHOMES THE LIVINGSTON 2011 SPECS

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

15.74

COORDINATOR:

DRIVEWAY:

DATE MAILED:

GENERAL DESCRIPTION - ALL TRADES

CODE #

1. Two Story with:

- a. 1,366 / 1,381 / 1,413 Square Feet of Floor Area
- b. Elevation "1" with 8'-10 x 4'-0 Covered Front Porch with
 - (1) Wood Post and Vinyl Ceiling
 - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
 - Crystal Diamonds Lite with Brass Caming
 - ~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room
- c. (2) Car Attached Garage with 16'-0 Overhead Door
- d. (2) Bedrooms
- e. 1 ½ Baths
 - ~ Powder Room: Oval Bevel Mirror
 - ~ Main Bath: 48" x 42" Mirror
- f. 8'-0 Finished Ceilings 1st and 2nd Floors
- g. Stained Cap at Half Wall at Upper Stairs
- h. Family Room
- Kitchen Cabinet Layout with Peninsula with 10" Countertop Overhang
- j. Dinette
- k. 2nd Floor Laundry Room
- 17'-2 x 10'-0 Covered Porch off Dinette with (2) Wood Posts and Vinyl Ceiling

1/01/11

Supercedes: 11/01/10

- m. 7'-0 Basement Walls
 - ~ No Window in Basement
 - ~ Delta MS Foundation Water Barrier
- n. 7/16" OSB Sheathing Board Roof and Side Walls
- o. 3/4" OSB Subfloor Throughout
- p. No Fireplace
- q. Pella Encompass Vinyl Double Hung Windows
 - White Exterior and Interior
 - Inserts between the Glass Pre-finished White both Sides at Upper Sash Only at Front Windows

The Livingston	Page 3	Revised: 1/01/11		
Elevation 1		Supercedes: 11/01/10		
WINDOWS	Vinyl Insulated Double Hung Windows			
12	a. Pella Encompass – White Exterior	r & Interior		
	2. Family Room Rear Wall – (2) Single Double Hungs			
	3. Family Room End Wall – (2) Single Double Hungs – End Units Only			
	4. Dinette – (1) Twin Double Hung			
	5. Bedroom #2 – (1) Twin Double Hung			
	6. Master Bedroom – (1) Twin Double Hun	g		
PATIO DOOR	1. Dinette – 6'-0 Sliding Door			
13	a. Pella Encompass – White Exterior & Interior			
INSERTS & SCREENS	1. Pre-Finished White Inserts between the			
14	 Pre-Finished White Inserts between the C Front Windows Only 	Glass at Upper Sash Only of		
	Full Screens on Double Hung Windows			
	Screen at Dinette Sliding Door			
DOORS	1. Exterior:			
15				
	a. Front Entry: Therma Tru Smooth Star Fiberglass Door			
	b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door			
	 Factory Finished Frame – Door Painted by Big "L" Dist. Door Hardware: 			
	a. Interior Doors: Schlage Knobs – Antiq	On Day of the		
	b. Fire Door: Schlage Key-n-Knob – Antiq			
	c. Front Door: Schlage Knob with Single	Que Brass Finish		
	Antique Brass Finish	Cylinder Deadbolt -		
ARAGE DOOR	1. 16'-0 x 7'-0 - (4) Section (8) Raised Panel	0.		
24	a. Pre-finished - No Painting	Steel - Model #5120		
	The state of anting			
OOFING	1. 3-in-1 Butt Tab			
25	2. Roof Vents and/or Ridge Vents as per Plan			
	3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under			
	4. Covered Front Porch and Rear Porch			
ALL	. TRADES - SEE GENERAL DESCRII	PTION		

The Livingston Elevation 1	Page 4	Revised: 1/01/11 Supercedes: 11/01/10	
SIDING	Vinyl Siding - Double 4"		
26	2. Maintenance Free Soffit System		
	Vinyl Ceilings at Front Porch and Rear Por	rch	
	4. Green Guard Value House Wrap	OH.	
HEATING	Gas Forced Air Heat - 80% Efficient Furnace		
28	Honeywell TH4110 Set-Back Thermostat	Э	
	Add Ductwork for:		
	a. Kitchen Hood Fan to be NON-DUCTED		
	b. Powder Room – Broan #688 50 CFM Fan		
	c. Main Bath – Broan #671 70 CFM Fan		
	d. Laundry Room – Broan #688_50 CFM Fan & Dryer Vent		
	e. Exhaust Fans Vent to Roof Jacks		
	4. Venting for 40 Gallon Hot Water Heater		
	5. Prep for Future Air Conditioning on Furnace – No Coil		
	6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future		
	Air Conditioning	bedrooms for Future	
LUMBING	1. Main Bath:		
27	a. Sterling 71090110/20-0 Acclaim 60" v 33	" v 70" T. L. 0. 0.	
	a. Sterling 71090110/20-0 Acclaim 60" x 33" x 72" Tub & Shower – White with Shower Rod		
	~ Kohler K-P304-K-NA/P15601-4S-CP Chrome Lever Handle Faucet		
	b. (1) Sterling 442044-0 Elliot 20" x 17" Sink – White		
	 Kohler K-P15182-LD-CP Chrome Lever Handle Faucet 		
	c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White		
	2. Powder Room:	with beinis #70 Seat - White	
	a. (1) ProFlo PF4600/4604 Pedestal Sink – V	Vhite	
	~ Kohler K-P15182-LD-CP Chrome Level		
	b. Sterling 404015-0/404515-0 Round Toilet	With Remie #70 Cast Name	
	Jano 10 10 10 10 10 10 10 10 10 10 10 10 10	with pemis #/0 Seat – White	

1/01/11

Supercedes: 11/01/10

PLUMBING (Cont'd)

3. Kitchen:

- a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole
 Double Bowl Sink
 - ~ Kohler K-P15171-CP Chrome Faucet No Spray Hose
 - ~ Chrome Strainer
- b. Dishwasher Hook-up
- c. No Disposal
- 4. Laundry Room Washing Machine Box and Overflow Pan
- 5. No Laundry Tray
- 6. 40 Gallon Hot Water Heater Gas
- 7. 1750 GPH Submersible Sump Pump in Basement
- 8. (2) Exterior Cold Water Faucets (1) at Front, (1) at Rear
- 9. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

- 1. (1) Control Plug in Family Room and All Bedrooms
- 2. Wire for Basic Exhaust Fans in Powder Room, Main Bath and Laundry Room
- 3. GFCI Protected Outlets in Kitchen, Powder Room and Main Bath
- 4. (1) 15 AMP GFCI Protected Outlet in Basement
- 5. (1) 15 AMP GFCI Protected Outlet in Garage
- 6. (2) Exterior GFCI Protected Weatherproof Outlets -
 - (1) at Front, (1) at Rear
- 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
- 8. Hook-up Dishwasher
- 9. No Disposal
- 10. Wire for Future Garage Door Opener
- 11. 125 AMP Service
- 12. All Basement Lights on (1) Switch
- 13. No 220 Lines to Range or Dryer Areas

The Livingston Elevation 1	Page 6	Revised: 1/01/11 Supercedes: 11/01/10
ELECTRICAL (Cont'd)		
	14. Recess Lights:	
	a. Foyer / Lower Hall: (2) Recess on 3-w	av Switch
	b. Kitchen: (1) Recess above Sink	ay Switch
	c. Mud Room: (1) Recess	
	d. Upper Hall: (3) Recess on 4-way Switc	h
	15. Fluorescent Fixtures:	•
	a. Laundry Area: (1) Uncovered Fixture	
	b. Master Walk-in Closet: (1) Covered Fix	ture
	16. Pre-selected Exterior Fixtures	
	a. Front Entry & Garage Front	
	b. Dinette Door	
	17. Interior Fixtures per Package	
AUDIO / VIDEO	1. (2) Phone Outlets	
29	2. (3) Cable TV Outlets	
	3. 2" PVC Chase from Basement to Attic Crawl	Space for Future Wiring
NSULATION	Firewall per Plan	
35		
	 Living Space Only - With 2 Mil Polywrap: R-13 Walls (3 3/8"); R-38 Ceiling 	
	3. White-Faced "Wallfoot" D. 40 D.	
	White-Faced "Wallfast" R-19 Basement Blank Per Town Codes	cet Insulation -

WALLBOARD

36

1. Firewall per Plan

Per Town Codes

2. Board Complete House, Including Garage

4. Styrofoam Baffles in Rafter Bays at Soffit

3. Texture Spray Ceilings Throughout, EXCEPT Garage

4. Special:

a. (1) Coat Finished Drywall - Garage Walls and Ceiling

 All Bi-pass Closet Door Openings – Metal Corner Bead Inside Corner Only

The Livingston Elevation 1	Page 7	Revised: 1/01/11 Supercedes: 11/01/10	
WALLBOARD (Cont'd)			
	5. Recess Lights – Foyer / Lower Hall (2	2), Kitchen (1), Mud Room (1)	
	Upper Hall (2)	,, , , , , , , , , , , , , , , , , , ,	
	6. Main Bath - Tub/Shower Module		
	7. Capped Half Wall at Upper Stairs		
GUTTERS 24	1. 5" Aluminum with 3" Conductors		
SHEET VINYL	Foyer to Staircase Wall, Mud Room, F	Powder Room, Kitchen, Dinette	
42	Laundry Room and Main Bath	owder Room, Ritchen, Dinette,	
	2. Allowance: Armstrong Initiator		
	MDF Base and Shoe Molding Throughout		
	4. Any Sheet Vinyl to Carpet Transition w		
HARDWOOD FLOORS	1. Optional		
APPLIANCES 41	1. Dishwasher – Whirlpool DU1015XTX		
ABINETS	Kitchen and Main Bath		
40	Allowance: Homecrest Fulton Oak Fini	ah Causana Da an an	
	a. Handles or Knobs Included	sn Square Recess Panel Door	
	b. No Roll-out Trays		
	c. No Cabinet above Refrigerator		
	Pedestal Sink in Powder Room		
RIM	Interior Doors – Textured 6-Panel Hardb		
3 - 19	MDF Colonial Casing and Base Through		
	Closet Openings Cased with Side Jambs		
	Room Side Only	s, Casing Side and Top –	

	Revised:	1/01/11
	Supercedes:	11/01/10
Stained 1 x 8 Cap on Half Wall at Upper S	Stairs	
White Pine Hand Rail at Staircase to 2 nd F	Floor and Basemen	t
EXTERIOR:		
Paint Front Entry Door & Trim		
NTERIOR:		
n. Stain – (1) Color Throughout		
Hand Rails & Wood Cap at Half Wal Paint	ll at Upper Stairs	
1. Interior Walls - (1) Color Throughout		
a. (2) Coat Flat Finish		
Basement Stairs and Steel - (1) Coat of Gray		
3. Interior of Steel Doors - (1) Color		
a. <u>DO NOT PAINT</u> Garage / Mud Room Door		
4. MDF Interior Trim		
5. Interior Doors – 6-Panel Hardboard Throughout		
re-finished Garage Overhead Door - <u>DO N</u>	NOT PAINT	
owel Bars and Paper Holders		
astic Laminate - Kitchen and Main Bath		
Allowance: Formica		
Oval Sink in Main Bath		
destal Sink in Powder Room		
Mor Hall -1 OL :		
ver Hall at Staircase, Family Room, Stairs	s, Upper Hall & All E	Bedrooms
owance: Mohawk 1D98 Prime Cut with Cl	assic Bonded Pad	
(1) Color Throughout		
ne		
		ES - SEE GENERAL DESCRIPTION

The Livingston Elevation 1	Page 9	Revised: Supercedes:	1/01/11 11/01/10
MIRRORS	Powder Room: Oval Bevel Mirror		
63	2. Main Bath: 48" x 42"		
CONCRETE	1. Front Porch Pad – 8'-10 x 4'-0		
53	2. Rear Porch Pad – 17'-2 x 10'-0		
	3. Walk and Step from Porch to Driveway		
	4. Wood Step Garage to Main House		
DRIVEWAY 56	1. Blacktop – No Sealer		
LANDSCAPING	Per Subdivision		
54	2. 4" Topsoil Machine and Hand Raked		
SHELVING	Ventilated Vinyl Coated Wire Shelving in A	Il Closets	
18	(1) Ventilated Vinyl Coated Wire Shelf abo Laundry Room		r Area in

Changes in Patio Home Specs CENTRAL SQUARE VILLAS WINSTON

	General
1.	Changed square footage from 1,272 / 1,287 / 1,316 to 1,266 / 1,285 / 1,316 square feet of floor area.
2.	Removed prewire for future security system.
	Windows
3.	Added family room end wall – (2) single double hungs – end units only.
	Siding
4.	Added Green Guard value house wrap.
	Electrical
5.	Deleted prewire for future security system.
6.	Changed 150 AMP service to 125 Amp service.
	Insulation
7.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
	Appliances
8.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
	Carpet
9.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.

Revised:

1/01/11

Supercedes:

11/01/10

THE MARRANO/MARC EQUITY CORPORATION SPECIFICATIONS FOR

CENTRAL SQUARE VILLA TOWNHOMES THE WINSTON 2011 SPECS

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

GENERAL DESCRIPTION - ALL TRADES

CODE#

- 1. Two Story with:
 - a. 1,266 / 1,285 / 1,316 Square Feet of Floor Area
 - b. Elevation "1" with 8'-10 x 4'-0 Covered Front Porch with
 - (1) Wood Post and Vinyl Ceiling
 - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
 - Crystal Diamonds Lite with Brass Caming
 - ~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room
 - c. (2) Car Attached Garage with 16'-0 Overhead Door
 - d. (2) Bedrooms
 - 1st Floor Master Bedroom with Walk-in Closet
 - e. 2 1/2 Baths
 - ~ Powder Room: Oval Bevel Mirror
 - ~ Master Bath: 48" x 42" Mirror
 - ~ Main Bath: 48" x 42" Mirror
 - f. 8'-0 Finished Ceilings 1st and 2nd Floors
 - g. Family Room
 - h. Kitchen / Dinette
 - "L" Cabinet Layout with 45" high Half Wall with Stained Cap at Family Room
 - Mud Room with Laundry Closet

Revised:

1/01/11

Supercedes: 11/01/10

- j. Upper Hall with Computer Niche Area
 - ~ Partial Capped Half Wall at Niche / Staircase
- k. 7'-0 Basement Walls
 - ~ No Window in Basement
 - ~ Delta MS Foundation Water Barrier
- I. 7/16" OSB Sheathing Board Roof and Side Walls
- m. 3/4" OSB Subfloor Throughout
- n. No Fireplace
- o. Pella Encompass Vinyl Double Hung Windows
 - ~ White Exterior and Interior
 - Inserts between the Glass Pre-finished White both Sides at Upper Sash Only of Front Windows

The Winston Elevation 1	Page 3	Revised: 1/01/11 Supercedes: 11/01/10
WINDOWS	Vinyl Insulated Double Hung Wind	J
12		
	a. Pella Encompass – White Exterior & Interior2. Master Bedroom – (1) Twin Double Hung	
	3. Bedroom #2 – (1) Twin Double Hu	-
	4. Family Room End Wall – (2) Singl	
PATIO DOOR	1. Kitchen / Dinette – 6'-0 Sliding Do	or
13	a. Pella Encompass – White Exterior & Interior	
INSERTS & SCREENS	Pre-Finished White Inserts between	en the Glass at Unnor Scale Out of
14	 Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows Only 	
	2. Full Screens on Double Hung Windows	
	3. Screen at Kitchen / Dinette Sliding	
DOORS	Exterior:	
15		th Charles
	a. Front Entry: Therma Tru Smooth Star Fiberglass Door	
	b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door	
	 Factory Finished Frame – Door Painted by Big "L" Dist. Door Hardware: 	
	a. Interior Doors: Schlage Knobs -	- Antique Brass Finish
	b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish	
	c. Front Door: Schlage Knob with Single Cylinder Deadbolt -	
	Antique Brass Finish	Side Cymraer Beadson -
ARAGE DOOR	1. 16'-0 x 7'-0 - (4) Section (8) Raised	Panel Steel - Model #5120
24	 16'-0 x 7'-0 - (4) Section (8) Raised Panel Steel - Model #5120 a. Pre-finished - No Painting 	
OOFING	1. 3-in-1 Butt Tab	
25	2. Roof Vents and/or Ridge Vents as per Plan	
	3. Ice Shield at Gutter Areas and at Ro	
	4. Covered Front Porch	and Onder

The Winston Elevation 1	Page 4	Revised: 1/01/11 Supercedes: 11/01/10
SIDING	Vinyl Siding - Double 4"	
26	Maintenance Free Soffit System	
	Vinyl Ceiling at Front Porch	
	Green Guard Value House Wrap	
HEATING	1. Gas Forced Air Heat - 80% Efficient Fu	Irnaca
28	Honeywell TH4110 Set-Back Thermost	
	3. Add Ductwork for:	iai
	a. Kitchen Hood Fan to be NON-DUCT	[FD
	b. Powder Room - Broan #688 50 CF	
	c. Main Bath - Broan #671 70 CFM Fan	
	d. Master Bath Water Closet – Broan #657 70 CFM Fan/Light Combo	
	e. Laundry Closet – Broan #688 50 CFM Fan & Dryer Vent	
	f. Exhaust Fans Vent to Roof Jacks	
	4. Venting for 40 Gallon Hot Water Heater	
	5. Prep for Future Air Conditioning on Furnace – No Coil	
	6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future	
	Air Conditioning	a succession for ruture
LUMBING	1. Master Bath:	
27	a. Sterling 72220100-0 Ensemble Curve	48" Shower No Soot Mary
	~ Kohler K-P304-K-NA/K-P15611-4-0	CP Chrome Lever Handle Face
	b. (1) Sterling 442044-0 Elliot 20" x 17" S	Sink – White
	~ Kohler K-P15182-LD-CP Chrome L	ever Handle Faucet
	c. Sterling 404015-0/404515-0 Round To	ilet with Remis #70 Soot Namite
	2. Main Bath:	wer man benne #10 Seat - white
	 a. Sterling 71090110/20-0 Acclaim 60" x 3 White with Shower Rod 	30" x 72" Tub & Shower –
	~ Kohler K-P304-K-NA/P15601-4S-C	P Chrome Lever Handle Faucot
	b. (1) Sterling 442044 Elliot 20" x 17" Sink	— White
	 Kohler K-P15182-LD-CP Chrome Le 	ever Handle Faucet
	c. Sterling 404015-0/404515-0 Round Toil	et with Bemis #70 Seat – White

The Winston Elevation 1

Page 5

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PLUMBING (Cont'd)

- 3. Powder Room:
 - a. (1) ProFlo PF4600/4604 Pedestal Sink White
 - ~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
 - b. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat White
- 4. Kitchen:
 - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink
 - ~ Kohler K-P15171-CP Chrome Faucet No Spray Hose
 - ~ Chrome Strainer
 - b. Dishwasher Hook-up
 - c. No Disposal
- 5. Laundry Closet Washing Machine Box
- 6. No Laundry Tray
- 7. 40 Gallon Hot Water Heater Gas
- 8. 1750 GPH Submersible Sump Pump in Basement
- 9. (2) Exterior Cold Water Faucets (1) at Front, (1) at Rear
- 10. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

- 1. (1) Control Plug in Family Room and All Bedrooms
- 2. Wire for Basic Exhaust Fans in Powder Room, Main Bath, Master Bath and Laundry Closet
- 3. GFCI Protected Outlets in Kitchen, Powder Room, Main Bath and Master Bath
- 4. (1) 15 AMP GFCI Protected Outlet in Basement
- 5. (1) 15 AMP GFCI Protected Outlet in Garage
- 6. (2) Exterior GFCI Protected Weatherproof Outlets -
 - (1) at Front, (1) at Rear
- 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
- 8. Hook-up Dishwasher
- 9. No Disposal
- 10. Wire for Future Garage Door Opener

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ELECTRICAL (Cont'd)

- 11. 125 AMP Service
- 12. All Basement Lights on (1) Switch
- 13. No 220 Lines to Range or Dryer Areas
- 14. Recess Lights:
 - a. Foyer / Hall at Bottom of Stairs: (2) Recess on 3-way Switch
 - b. Kitchen / Dinette: (2) Recess on (1) Switch &(1) Recess on Separate Switch above Sink
 - c. Mud Room: (2) Recess on (1) Switch
 - d. Staircase: (1) Recess at Top of Stairs on 3-way Switch
 - e. Upper Hall / Niche Area: (2) Recess on (1) Switch
- 15. Fluorescent Fixtures:
 - a. Laundry Closet: 2'-0 Uncovered Fixture
 - b. Master Walk-in Closet: Covered Fixture
- 16. Pre-selected Exterior Fixtures
 - a. Front Entry & Garage Front
 - b. Kitchen / Dinette Door
- 17. Interior Fixtures per Package

AUDIO / VIDEO

1. (2) Phone Outlets

29

- 2. (3) Cable TV Outlets
- 3. 2" PVC Chase from Basement to Attic Crawl Space for Future Wiring

INSULATION

35

- 1. Firewall per Plan
- 2. Living Space Only With 2 Mil Polywrap:

R-13 Walls (3 3/8"); R-38 Ceiling

3. White-Faced "Wallfast" R-19 Basement Blanket Insulation -

Per Town Codes

4. Styrofoam Baffles in Rafter Bays at Soffit

The Winston Elevation 1	Page 7	Revised: 1/01/11 Supercedes: 11/01/10	
WALLBOARD	Firewall per Plan		
36	Board Complete House, Including G		
	Texture Spray Ceilings Throughout,		
	4. Special:	EXCEPT Garage	
	•	20 M H	
	a. (1) Coat Finished Drywall - Garag	Je vvalls and Ceiling	
	 b. All Bi-pass Closet Door Openings – Metal Corner Bead Inside Corner Only 		
	-	2) Kitchon / Dinotte (2)	
	 Recess Lights – Foyer / Lower Hall (2), Kitchen / Dinette (3), Mud Room (2), Staircase (1), Upper Hall / Niche (2) 		
	6. Main Bath - Tub/Shower Module		
	7. Master Bath – Shower Module		
	Capped Half Walls at Lower Stairs and Upper Hall / Staircase		
	9. Capped Half Wall at Family Room / Kitchen		
GUTTERS 24	1. 5" Aluminum with 3" Conductors		
SHEET VINYL	Foyer to End of Guest Closet at Staircase, Mud Room, Laundry Are		
42	Powder Room, Kitchen / Dinette, Main	Bath and Master Bath	
	2. Allowance: Armstrong Initiator		
	MDF Base and Shoe Molding Through	out	
	4. Any Sheet Vinyl to Carpet Transition w	rill have Metal Edging	
ARDWOOD FLOORS 46	1. Optional		
PPLIANCES	Dishwasher – Whirlpool DU1015XTX		

The Winston Page 8 Revised: 1/01/11 Elevation 1 Supercedes: 11/01/10 **CABINETS** 1. Kitchen, Main Bath and Master Bath 40 2. Allowance: Homecrest Fulton Oak Finish Square Recess Panel Door a. Handles or Knobs Included b. No Roll-out Trays c. No Cabinet above Refrigerator 3. Pedestal Sink in Powder Room TRIM 1. Interior Doors - Textured 6-Panel Hardboard Throughout 18 - 19 2. MDF Colonial Casing and Base Throughout 3. Closet Openings Cased with Side Jambs, Casing Side and Top -Room Side Only 4. Stained Cap at Half Walls at Lower Stairs and Upper Hall / Staircase 5. Stained Cap at Half Wall at Family Room / Kitchen 6. Stained White Pine Hand Rail at Staircase to 2nd Floor and Basement PAINT 1. EXTERIOR: 37 a. Paint Front Entry Door & Trim 2. INTERIOR: a. Stain - (1) Color Throughout 1. Hand Rails and Wood Caps at Half Walls at Lower Stairs, Upper Hall / Staircase and Family Room / Kitchen b. Paint 1. Interior Walls - (1) Color Throughout a. (2) Coat Flat Finish 2. Basement Stairs and Steel - (1) Coat of Gray 3. Interior of Steel Doors - (1) Color a. DO NOT PAINT Garage / Mud Room Door 4. MDF Interior Trim 5. Interior Doors – 6-Panel Hardboard Throughout 3. Pre-finished Garage Overhead Door - DO NOT PAINT

The Winston Elevation 1	Page 9	Revised: 1/01/11 Supercedes: 11/01/10	
CERAMIC TILE 42	Towel Bars and Paper Holders		
COUNTERTOPS 43	 Plastic Laminate – Kitchen, Main Bath and Master Bath Allowance: Formica Oval Sinks in Main Bath and Master Bath Pedestal Sink in Powder Room 		
CARPET 45	 Lower Hall from Foyer Closet Wall to Family Room, Family Room, Stairs, Upper Hall, All Bedrooms and Master Walk-in Closet Allowance: Mohawk 1D98 Prime Cut with Classic Bonded Pad (1) Color Throughout 		
GLASS BLOCK 47	1. None		
MIRRORS 63	 Powder Room: Oval Bevel Mirror Main Bath: 48" x 42" Master Bath: 48" x 42" a. 4'-0 Bi-pass Shower Enclosure with Chrome Trim and Clear or Aquatex Glass 		
CONCRETE 53	 Front Porch Pad – 8'-10 x 4'-0 Walk and Step from Porch to Driveway Wood Step Garage to Main House Wood Steps to Grade off Kitchen / Dinette 		
PRIVEWAY 56	1. Blacktop – No Sealer		
ANDSCAPING 54	Per Subdivision Topsoil Machine and Hand Raked		

The Winston

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SHELVING

1. Ventilated Vinyl Coated Wire Shelving in All Closets
2. (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer Area in Laundry Closet

Changes in Patio Home Specs CENTRAL SQUARE VILLAS YORK

	General Changed square footage from 1,035 / 1,045 to 1,038 / 1,046 square feet of floor area.
	Changed master bath mirror from 48"x42" to 36"x42".
	Removed prewire for future security system.
	Windows
	Added family room end wall – (2) single double hungs – end units only.
	Siding
	Added Green Guard value house wrap.
	Electrical
	Deleted prewire for future security system.
	Changed 150 Amp service to 125 Amp service.
	Changed recessed lights in kitchen/dinette from (2) recess on (1) switch to (4) recess on (2) switches.
-	Removed covered fluorescent fixture from master walk-in closet.
	Insulation
•	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
	Wallboard
Zhaveo	Changed recessed lights in kitchen from (3) to (5).
	Appliances
	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
	Carpet
	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.
	Mirrors
- 1	Changed master bath mirror from 48"x42" to 36"x42".

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THE MARRANO/MARC EQUITY CORPORATION SPECIFICATIONS FOR

CENTRAL SQUARE VILLA TOWNHOME THE YORK 2011 SPECS

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

GENERAL DESCRIPTION - ALL TRADES

1. Ranch with:

CODE#

- a. 1,038 / 1,046 Square Feet of Floor Area
- b. Elevation "1" with 5'-8 x 5'-2 Covered Front Porch with
 - (1) Wood Post and Vinyl Ceiling
 - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
 - Crystal Diamonds Lite with Brass Caming
 - ~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room
- c. (1) Car Attached Garage with 9'-0 Overhead Door
- d. (2) Bedrooms
- e. (2) Baths
 - ~ Main Bath: 36" x 42" Mirror
 - ~ Master Bath: 36" x 42" Mirror
- f. 8'-0 Finished Ceilings
- g. Living Room
- h. Kitchen / Dinette
 - "L" Cabinet Layout with 45" high Half Wall with Stained Cap at Living Room
- i. Mud Room with Laundry Closet with Bi-fold Doors
- j. 12'-0 x 9'-0 Covered Porch off Dinette with (1) Wood Post and Vinyl Ceiling

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- k. 7'-0 Basement Walls
 - ~ No Window in Basement
 - ~ Delta MS Foundation Water Barrier
- I. 7/16" OSB Sheathing Board Roof and Side Walls
- m. ¾" OSB Subfloor Throughout
- n. No Fireplace
- o. Pella Encompass Vinyl Double Hung Windows
 - ~ White Exterior and Interior
 - Inserts between the Glass Pre-finished White both Sides at Upper Sash Only of Front Windows

The York Elevation 1	Page 3 Revised: 1/01/11		
WINDOWS	Supercedes: 11/01/10		
12	Vinyl Insulated Double Hung Windows		
V day	a. Pella Encompass – White Exterior & Interior		
	2. Kitchen / Dinette: (1) Twin Double Hung		
	3. Master Bedroom – (1) Twin Double Hung		
	4. Bedroom #2 – (1) Twin Double Hung		
	5. Family Room – (2) Single Double Hungs – End Units Only		
PATIO DOOR	1 Kitchen / Dipotte Classic -		
13	1. Kitchen / Dinette – 6'-0 Sliding Door		
	a. Pella Encompass – White Exterior & Interior		
INSERTS & SCREENS	Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows O. I.		
14	Front Windows Only		
	Full Screens on Double Hung Windows		
	Screen at Kitchen / Dinette Sliding Door		
DOORS			
15	1. Exterior:		
	a. Front Entry: Therma Tru Smooth Star Fiberglass Door		
	b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door		
	1. Factory Finished Frame – Door Painted by Big "L" Dist		
	2. Door Hardware:		
	a. Interior Doors: Schlage Knobs – Antique Brass Finish		
	b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish		
	c. Front Door: Schlage Troy Knob with Single Cylinder Deadbolt -		
	Antique Brass Finish		
GARAGE DOOR	1. 9'-0 x 7'-0 - (4) Section (4) Raised Panel Steel - Model #5120		
24	a. Pre-finished - No Painting		
OOFING	1 2 :- 4 D 4 T		
25	1. 3-in-1 Butt Tab		
	2. Roof Vents and/or Ridge Vents as per Plan		
	3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under		
	4. Covered Front and Rear Porch		
ΔΙΙ	TRADES SEE CENERAL		
a a long fina	TRADES - SEE GENERAL DESCRIPTION		

The York Elevation 1	Page 4	Revised: 1/01/11 Supercedes: 11/01/10	
SIDING	Vinyl Siding - Double 4"		
26	Maintenance Free Soffit System		
	Vinyl Ceiling at Front and Rear Porch		
	Green Guard Value House Wrap		
HEATING	1. Gas Forced Air Heat - 80% Efficient Furi	2200	
28	2. Honeywell TH4110 Set-Back Thermosta		
	3. Add Ductwork for:	l .	
	a. Kitchen Hood Fan to be NON-DUCTE	:n	
	b. Main Bath - Broan #671 70 CFM Fan		
	c. Master Bath – Broan #671 70 CFM Fan		
	d. Laundry Closet – Broan #688 50 CFM Fan & Dryer Vent		
	e. Exhaust Fans Vent to Roof Jacks		
	Venting for 40 Gallon Hot Water Heater		
	5. Prep for Future Air Conditioning on Furnace – No Coil		
	6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future		
	Air Conditioning	Dodrooms for ruture	
PLUMBING	1. Master Bath:		
27	a. Sterling 71090110/20 Acclaim 60" x 30	" x 72" Tub & Shower	
	White with Shower Rod	X 72 TOD & OHOWEI —	
	~ Kohler K-P304-K-NA/P15601-4S-C	P Chrome Lever Handlo Fausat	
	b. (1) Sterling 442044-0 Elliot 20" x 17" Si	ink – White	
	~ Kohler K-P15182-LD-CP Chrome Le		
	c. Sterling 404015-0/404515-0 Round Toi		
	2. Main Bath:	vinte	
	a. Sterling 72200100-0 Ensemble Curve 3	36" Shower – No Seat - White	
	~ Kohler K-P304-K-NA/K-P15611-4-C	P Chrome Lever Handle Fallest	
	b. (1) Sterling 442044-0 Elliot 20" x 17" Sir	nk – White	
	~ Kohler K-P15182-LD-CP Chrome Le		
	c. Sterling 404015-0/404515-0 Round Toil		

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PLUMBING (Cont'd)

3. Kitchen:

- a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink
 - ~ Kohler K-P15171-CP Chrome Faucet No Spray Hose
 - ~ Chrome Strainer
- b. Dishwasher Hook-up
- c. No Disposal
- 4. Laundry Closet Washing Machine Box
- 5. No Laundry Tray
- 6. 40 Gallon Hot Water Heater Gas
- 7. 1750 GPH Submersible Sump Pump in Basement
- 8. (2) Exterior Cold Water Faucets (1) at Front, (1) at Rear
- 9. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

- 1. (1) Control Plug in Living Room and All Bedrooms
- 2. Wire for Basic Exhaust Fans in Main Bath, Master Bath & Laundry Closet
- 3. GFCI Protected Outlets in Kitchen, Main Bath and Master Bath
- 4. (1) 15 AMP GFCI Protected Outlet in Basement
- 5. (1) 15 AMP GFCI Protected Outlet in Garage
- 6. (2) Exterior GFCI Protected Weatherproof Outlets -
 - (1) at Front, (1) at Rear
- 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
- 8. Hook-up Dishwasher
- 9. No Disposal
- 10. Wire for Future Garage Door Opener
- 11. 125 AMP Service
- 12. All Basement Lights on (1) Switch
- 13. No 220 Lines to Range or Dryer Areas

The York Elevation 1	Page 6	Revised:	1/01/11
		Supercedes:	11/01/10
ELECTRICAL (Cont'd)			
	14. Recess Lights:		
	a. Foyer: (1) Recess with (1) Switch		
	b. Kitchen / Dinette: (4) Recess on (2)	Switches &	
	(1) Recess on Separate Switch above	ve Sink	
	c. Mud Room: (3) Recess on 3-way S	witch	
	d. Main Bath: (1) in Shower		
	15. Fluorescent Fixture:		
	 a. Laundry Closet: 2'-0 Uncovered Fix 	ture	
	Pre-selected Exterior Fixtures		
	 a. Front Entry & Garage Front 		
	b. Kitchen / Dinette Door		
	17. Interior Fixtures per Package		
AUDIO / VIDEO	1. (2) Phone Outlets		
29	2. (3) Cable TV Outlets		
INSULATION	Firewall per Plan		
35			
	2. Living Space Only - With 2 Mil Polywrap:		
	R-13 Walls (3 3/8"); R-38 Ceiling	M	
	White-Faced "Wallfast" R-19 Basement E Per Town Codes	Blanket Insulation -	
	Styrofoam Baffles in Rafter Bays at Soffit		
VALLBOARD	1. Firewall per Plan		
36	2. Board Complete House, Including Garage	;	
	3. Texture Spray Ceilings Throughout, EXCE		
	4. One state	·· - ·· 3 •	

ALL TRADES - SEE GENERAL DESCRIPTION

a. (1) Coat Finished Drywall - Garage Walls and Ceiling

b. All Bi-pass Closet Door Openings - Metal Corner Bead Inside

4. Special:

Corner Only

The York Elevation 1	Page 7	Revised: 1/01/11 Supercedes: 11/01/10	
WALLBOARD (Cont'd)			
	5. Recess Lights – Foyer (1), Kitchen (5), M	ud Danie (0)	
	6. Main Bath - Shower Module	ud Room (3), Main Bath (1)	
	7. Master Bath – Tub/Shower Module		
	8. Capped Half Wall at Living Room / Kitche	n	
GUTTERS 24	1. 5" Aluminum with 3" Conductors		
SHEET VINYL	Fover to End of Guest Closet Vitale (D)		
42	 Foyer to End of Guest Closet, Kitchen / Dinette, Mud Room, Laundry Area, Main Bath and Master Bath 		
	Allowance: Armstrong Initiator		
	MDF Base and Shoe Molding Throughout		
	Any Sheet Vinyl to Carpet Transition will ha	ave Metal Edging	
HARDWOOD FLOORS	1. Optional		
APPLIANCES 41	Dishwasher – Whirlpool DU1015XTX		
CABINETS	Kitchen, Main Bath and Master Bath		
40	2. Allowance: Homecrost Eulton Only Eviden		
	Allowance: Homecrest Fulton Oak Finish So a. Handles or Knobs Included	quare Recess Panel Door	
	b. No Roll-out Trays		
	c. No Cabinet above Refrigerator		
RIM	1. Interior Doors - Textured & Donald III		
8 - 19	 Interior Doors – Textured 6-Panel Hardboard MDF Colonial Casing and Base Throughout 	Ihroughout	
	Closet Openings Cased with Side Jambs, Ca	alian Otto	
	Room Side Only	sing Side and Top –	
	4. Stained Cap at Half Wall at Living Room / Kito	rhon	
	5. Stained White Pine Hand Rail at Stairs to Bas	ement	
ALL	TRADES - SEE GENERAL DESCRIPT		

The York Elevation 1	Page 8	Revised: 1/01/11 Supercedes: 11/01/10	
PAINT	1 EVICIOD		
37	1. EXTERIOR:		
	a. Paint Front Entry Door & Trim2. INTERIOR:		
	 a. Stain – (1) Color Throughout 1. Hand Rails and Wood Cap at Half Wall at Living Room / Kitchen b. Paint 1. Interior Walls - (1) Color Throughout a. (2) Coat Flat Finish 2. Basement Stairs and Steel - (1) Coat of Gray 		
	3. Interior of Steel Doors - (1) Color		
	a. <u>DO NOT PAINT</u> Garage / Mud Room Door		
	4. MDF Interior Trim		
	5. Interior Doors – 6-Panel Hardboard Throughout		
	Pre-finished Garage Overhead Door - <u>DO NOT PAINT</u>		
CERAMIC TILE 42	Towel Bars and Paper Holders		
COUNTERTOPS	Plastic Laminate – Kitchen, Main Bath and	d Master Rath	
43	a. Allowance: Formica		
	b. Oval Sinks in Main Bath and Master B	ath	
CARPET	Living Room and All Bedrooms		
45	Allowance: Mohawk 1D98 Prime Cut with	Olassi B	
	(1) Color Throughout	Classic Bonded Pad	
GLASS BLOCK 47	1. None		
IIRRORS	1. Main Bath: 36" x 42"		
63			
	a. 3'-0 Swing Door Shower Enclosure with	Chrome Trim and	
	Clear or Aquatex Glass 2. Master Bath: 36" x 42"		
	Widoto Datil. 30 X 42		
A	ALL TRADES - SEE GENERAL DESCRI	DTION	

The York Elevation 1	Page 9 Revised: 1/01/11 Supercedes: 11/01/10
CONCRETE 53	 Front Porch Pad – 5'-8 x 5'-2 Rear Porch Pad – 12'-0 x 9'-0 Walk and Step from Porch to Driveway Wood Step Garage to Main House
DRIVEWAY 56	1. Blacktop – No Sealer
LANDSCAPING 54	 Per Subdivision 4" Topsoil Machine and Hand Raked
SHELVING 18	 Ventilated Vinyl Coated Wire Shelving in All Closets (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer in Laundry Closet in Mud Room

Continuation of

Description of Property and Specifications or Building Conditions for:

CENTRAL SQUARE VILLAS

Town of Lancaster Erie County, New York

TECHNEW 1. SKOWAN STOWN AND STOWN AN

Richard Skop Licensed Engineer 3160 Rt. 394 PO Box 151 Stow, New York 14758

March 2011

(a) Location and Use of Property

See Greenman-Pedersen, Inc. report

(b) Status of Construction

See Greenman-Pedersen, Inc. report

(c) Site

See Greenman-Pedersen, Inc. report

(d) Utilities

See Greenman-Pedersen, Inc. report

(e) Sub-Soil Conditions

See Greenman-Pedersen, Inc. report

(f) Landscaping and Enclosures

- (1) Grass Cover: Grass will cover the entire Condominium property with the exception of the building footprints, roadways, driveways, walkways, pool and pond. The site will be seeded with a standard grass seed mix.
- (2) Plantings: The property will be landscaped utilizing a standard landscape design. Please refer to the landscape plan attached to this report.
- (3) Trees: Various trees will be located throughout the property. Please refer to the landscape plan attached to this report.
- (4) Fencing: A wood fence will run along the eastern edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (5) Gates: Not applicable.
- (6) Garden Wall: Not applicable.
- (7) Retaining Wall: Not applicable.
- (8) Display Pools and Foundations: Not applicable.

(g) Unit/Building Size:

Four (4) unit types will be offered to Purchaser. The Cambridge consists of approximately 1,236, 1,238 and 1,270 square feet. The Livingston consists of approximately 1,366 and 1,381 square feet. The Winston consists of 1,266 and 1,285 square feet. The York consists of approximately 1,038 and 1,046 square feet.

Three (3) Hybrid unit types will be offered to Purchaser within one (1) Hybrid Building. The Hybrid Cambridge consists of approximately 1,243 square feet. The Hybrid Livingston consists of approximately 1,413 square feet. The Hybrid Winston consists of approximately 1,316 square feet.

A. The Cambridge

- (1) Total Height: The total height of The Cambridge unit is approximately 28'-9" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 120 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

B. The Livingston

- (1) Total Height: The total height of The Livingston unit is approximately 27'-7" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

C. The Winston

- (1) Total Height: The total height of The Winston unit is approximately 27'-7" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

D. The York

- (1) Total Height: The total height of The York unit is approximately 26'-5" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a one floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

E. The Hybrid Building

(1) Total Height: The total height of The Hybrid Building is approximately 28'-3" from the ground level to the highest point of the roof.

- (2) Crawl Spaces: The basements under the condominium building will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 2 full basements for The Hybrid Cambridge, 1 full basement for The Hybrid Livingston and 1 full basement for The Hybrid Winston throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

(h) Structural Systems

- (1) Exterior of Buildings:
 - (i) Walls: The foundation of the condominiums' walls shall consist of 7'-0" x 8" poured concrete walls with a minimum of 16" wide x 8" high poured concrete spread footings below. The concrete mix design requirement is a minimum compressive strength of 3,000 psi. The foundation drainage system will consist of 4" drain tile with Geotech fabric wrap on a minimum of 2" crushed rock. A layer of Delta MS wall drain / damp proofing, or equal, will be applied to the outside of the foundation walls before back filling.

The exterior walls of the condominium will be constructed with 2"x4" and 2"x6" at 16" on center wall stud framing. The walls will be insulated with Johns Mansville Formaldehyde-free Fiberglass 3 ½" R-13 batt insulation, or equal, covered on the interior side with a 2 mil poly vapor barrier. A layer of ½" Gypsum Wall Board is then applied, which will be painted. On the outside 7/16" O.S.B. sheeting is used and a barrier is applied over it. A 4" exposure vinyl siding will cover all of its sides.

Firewalls: The Hybrid Building firewall will be UL#: U334, and shall be constructed with 2"x4" at 16" on center wall stud framing. The walls will be insulated with 2" Thermafiber SAFB. A $\frac{1}{2}$ "x2 $\frac{1}{2}$ " resilient channel will be applied to one side of the stud wall framing. Two layers of 5/8" type "x" gypsum wall board is then applied to each side of the stud wall framing, with the outer layers painted. The 7/16"

O.S.B. sheathing used for exterior walls shall cover the firewalls at their termination with the exterior. The exterior walls shall abut the firewalls. The firewalls shall be continuous from the foundation to the underside of the roof sheathing. Firewalls shall be constructed following all instructions and specifications per Underwriters Laboratory (U.L.) Certification Directory.

The Condominium Buildings firewall will be UL#: U905 with the exception of the Hybrid Building as stated above and shall be constructed with 8" nominal concrete block having the D-2 (2hr.) classification and bearing the UL Classification marking. Blocks are to be laid in full bed of mortar, nominal 3/8" thick of not less than 2 ¼ and not more than 3 ½ parts of clean sharp sand to 1 part Portland cement and not more than 50 percent hydrated lime. Vertical joints staggered. The exterior walls shall abut the firewalls. The firewalls shall be continuous from the foundation to the underside of the roof sheathing. Firewalls shall be constructed following all instructions and specifications per Underwriters Laboratory (U.L.) Certification Directory.

(ii) Windows:

(a) Hybrid Building:

Pella Encompass or equal will be used in all Hybrid units. Each window has a minimum of 2 9/16" frame with a factory applied wood extension jamb and a prefinished white extruded vinyl exterior with an integral nailing fin. The interior is prefinished white.

Window warranty/guarantees are standard manufacturer warranties as offered through Pella.

The sash is steel reinforced, prefinished vinyl exterior for strength and durability. The interior is vinyl. The hardware includes factory applied locks and keeper and compression tilt jamb liners. The screen frame is vinyl with grey mesh fabric.

(b) All Other Units:

Pella Encompass or equal will be used in all Hybrid units. Each window has a minimum of 4 9/16" frame and a prefinished white extruded vinyl exterior with an integral nailing fin. The interior is prefinished white.

Window warranty/guarantees are standard manufacturer warranties as offered through Pella.

The sash is steel reinforced, prefinished vinyl exterior for strength and durability. The interior is vinyl. The hardware includes factory applied locks and keeper and compression tilt jamb liners. The screen fame is vinyl with grey mesh fabric.

- (iii) Landmark Status: Not applicable.
- (2) Parapets and Copings: Not applicable.
- (3) Chimneys and Caps: The furnace flue (double wall sheet metal) is located in the chimney chase.
- (4) Balconies and Terraces: Not applicable.
- (5) Exterior Entrances:
 - (i) Exterior Doors and Frames: Doors are constructed of fiberglass exterior and polyurethane foam core. They have a raised panel effect for decoration. Each doorframe shall be a wood frame with weather stripping installed. The hardware shall be (3) 4"x4" non-template hinges and a single bore lock preparation. Patio door will be sliding Pella Encompass or equal.
 - (ii) Vestibule Doors and Frames: Not applicable.
 - (iii) Exterior Stairs: The condominiums will require concrete exterior stairs to grade at the front entrance and wood plank stairs at the rear patio door of each unit.
 - (iv) Railings: Exterior railings will not be required at the entrance of the home since the grade isn't low enough.
 - (v) Mailboxes: A mailbox center will be provided by the seller and located per local post office regulations.
 - (vi) Lighting: Exterior lights will be located around the home. One wall-mounted fixture will be placed at the garage door. One wall-mounted fixture will be located at the front entry door. One wall-mounted fixture will be located at the living room or dinette door (depending on model).

- (6) Service Entrances: Not applicable.
- (7) Roof and Roof Structures:
 - (i) Type Roofs for All Areas: Stick framed.
 - (a) Material: 2"x6", 2"x8" and 2"x10" rafters with 7/16" OSB sheathing.
 - (b) Insulation: High density R-26 Kraft faced insulation will be placed in any sloped ceiling and 6" Kraft faced double layer insulation for a total of R38 will be placed in all other ceilings. 14" baffles with 10" wide airspace will be installed in all sloped ceiling bays.
 - (c) Surface Finish: IKO Marathon or their equivalent, 235 weight self sealing fiberglass shingles will be used on all of the roofs.
 - (d) Bond or Guarantee: The IKO shingle carries a 25-year limited warranty.
 - (e) Flashing Materials: Mill finish aluminum at all vertical sidewalls and chimneys.
 - (ii) Drains:
 - (a) Not applicable.
 - (b) The gutters will be 5" seamless .032 heavy gauge aluminum, with a baked on enamel finish. They will be secured with aluminum nails and ferrules. Gutters and corners will be riveted and sealed with a liquid rubber.

Down spouts will be 2"x 3" rectangular in shape with a baked on enamel finish.

- (iii) Skylights: Not applicable.
- (iv) Bulkheads: Not applicable.
- (v) Metal Work at Roof Levels: Not applicable.
- (vi) Rooftop Facilities: Not applicable.
- (8) Fire Escapes: Not applicable.

(9) Yards and Courts:

- (i) Paving: A 9'-0" or 16'-0" wide asphalt driveway over 6" of crushed stone will be used for all driveways to the condominium units. A 3'-0" wide x 4" deep concrete walkway poured over 4" of crushed stone will also lead from the driveway to the front entry door. A 10'x17'-2" or 9' x12'-2" concrete patio poured over crushed stone will be used for the Livingston and York models respectively.
- (ii) Drainage: The grounds of the condominium buildings will be individually graded with swales, which direct the drainage into receivers and discharge into the storm sewers. The gutter run off will be tied directly into the storm sewers.
- (iii) Railings: Not applicable.
- (iv) Stairs: Not applicable.
- (v) Fencing: A wood fence will run along the western edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (vi) Walls: Not applicable.

(10) Interior Stairs:

- (i) Number of Stairs: The Cambridge, The Livingston, The Winston, The Hybrid Cambridge, The Hybrid Livingston and The Hybrid Winston condominium unit will each have three sets of wooden stairs. The York condominium unit will each have two sets of wooden stairs.
- (ii) Enclosure: The stairs from the first floor to the second floor (where applicable). The stairs from the first floor to the basement and the step from the first floor to the garage will not be enclosed.
- (iii) Stair Construction: The stairs from the first floor to the basement will be a closed riser with a 1 ½" nosing, the stringer will remain exposed. Tread, stringers and risers to be painted. The stairs from the first floor to the second floor will be closed risers with a 1 ½" nosing and concealed stringers. Stringers to be painted or stained, treads and risers to be carpet covered.
- (iv) Stringers: Made of wood.

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- (v) Treads: Made of wood.
- (vi) Risers: Made of wood.
- (vii) Guard Rails: Wood handrails are proposed on open sides of stairs.
- (viii) Balustrade: Not applicable.

(11) Interior Doors and Frames:

(i) Unit Entrance and Interior Doors/Frames: The garage entrance door is constructed with a galvanized steel exterior and polyurethane core. The frame is a steel frame with weather stripping installed. The door meets a ¾ hour fire rating in accordance with the local fire code. A self-closing hinge is also installed.

The remaining interior doors are hardboard doors painted white.

- (ii) Corridor Doors and Frames: Not applicable.
- (iii) Stair Hall Doors and Frames: Not applicable.
- (iv) Roof Doors, Basement Doors and Frames: There will be no doors to the roof. The basement door will be hardboard painted white on a wood or MDF frame.
- (12) Elevators: Not applicable.
- (13) Elevator Cabs: Not applicable.

(i) Auxiliary Facilities

- (1) Laundry Rooms: Each individual unit will contain water, drain, electric and gas hook-ups. Purchaser to provide own washer and dryer.
- (2) Refuse Disposal:
 - (i) Incinerators: There will be no incinerators.
 - (ii) Compactors: There will be no compactors.
 - (iii) Approvals: There are no approvals required.
 - (iv) Initial Storage: Refuse should be stored within individual units until pick up.

(v) Pick Up Schedule: The Town of Lancaster will provide curbside disposal service once a week.

(j) Plumbing and Drainage

See Greenman-Pedersen, Inc. report

(k) Heating

- (1) Each unit will be equipped with an A.O. Smith 40-gallon capacity or equal hot water heater, 40,000 BTU input with a 6 year manufacturer's warranty. The hot water heater will be located in the basement.
- (2) Each unit will contain one furnace, a 50,000 BTU Rheem/Weatherking model #80PS05EAR or equal. The furnace models have an efficiency rating of 80% and have adequate capacity to provide heat for the home with an internal and ambient condition rate of 0° outside / 70° inside. All furnaces will be located in the basement. Heat distribution is by forced air and the fuel source is natural gas.

(I) Gas Supply

See Greenman-Pedersen, Inc. report

(m) Air Conditioning

To be optional.

(n) Ventilation

- (1) Each unit will be provided with the following ventilation systems:
 - A required chimney flue as per manufacturer's specifications for each furnace.
 - (ii) Exhaust fans with a minimum air flow of 70 CMF for all baths.
 - (iii) A dryer vent in all laundries.
 - (iv) Each unit has its own individual 1 or 2-car garage. Roof vents per plan at main house and ventilated soffit throughout will provide necessary ventilation.
 - (v) There are no windowless corridors in any unit.
 - (vi) All attics will contain 10"x10" box vents with continually vented soffit and will have a ventilation rate of 1sf of ventilation per 300sf of attic space.

(o) Electrical System

- New York State Electric and Gas provides electricity. (1)
- A 125 Amp service will be used. All units will have duplex outlets, with ground (2) fault in all baths, kitchens and exterior outlets. All basement lights will be on one (1) switch.
- Sixteen (16) circuits are provided for each unit, which is adequate for modern (3) usage including air conditioning and appliances.
- Copper wiring is specified in all units. (4)
- The light fixture schedule for each unit is as follows: (5)

Cambridge

- a. 1-Ceiling light in foyer
- b. 1-Ceiling light in dinette
- c. 1-Ceiling light in kitchen
- d. 1-Ceiling light in staircase landing
- e. 1-Ceiling light in upper hall
- f. 1-Ceiling light in bedroom #2 hall at closet
- g. 1-Wall light in powder room
- h. 1-Wall light in main bath
- 1-Ceiling light in main bath
- j. 2-Recess light in lower hall at staircase
- k. 1-Ceiling light at basment stair landing
- 1-Recess light in kitchen
- m. 1-Fluorescent light in laundry room
- n. 1-Fluorescent light in master walk-in closet
- o. 1-Door chime
- p. 1-Wall light at front entry (exterior)
- q. 1-Wall light at garage front (exterior)
- r. 1-Wall light at dinette door (exterior)

Livingston

- a. 1-Ceiling light in kitchen
- b. 1-Ceiling light in dinette
- c. 1-Ceiling light in laundry room
- d. 1-Wall light in powder room
- e. 1-Wall light in main bath
- f. 1-Recess light in foyer
- g. 1-Recess light in lower hall
- h. 1-Recess light in kitchen

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Central Square Villas Condominium Association Property and Specifications

- i. 1-Recess light in mud room
- j. 3-Recess lights in upper hall
- k. 1-Fluorescent light in laundry area
- I. 1-Fluorescent light in master walk-in closet
- m. 1-Door chime
- n. 1-Wall light at front entry (exterior)
- o. 1-Wall light at garage front (exterior)
- p. 1-Wall light at dinette door (exterior)

Winston

- a. 1-Wall light in powder room
- b. 1-Wall light in main bath
- c. 1-Wall light in master bath
- d. 1-Recess light in foyer
- e. 1-Recess light in hall at bottom of stairs
- f. 3-Recess lights in kitchen/dinette
- g. 2-Recess lights in mud room
- h. 1-Recess light at top of stairs
- i. 2-Recess lights in upper hall
- j. 1-Fluorescent light in laundry closet
- k. 1-Fluorescent light in master walk-in closet
- I. 1-Wall light at front entry (exterior)
- m. 1-Wall light at garage front (exterior)
- n. 1-Wall light at kitchen/dinette door (exterior)
- o. 1-Door chime

York

- a. 1-Wall light in main bath
- b. 1-Wall light in master bath
- c. 1-Recess light in foyer
- d. 5-Recess lights in kitchen/dinette
- e. 3-Recess lights in mud room
- f. 1-Recess light in main bath
- g. 1-Fluorescent light in laundry closet
- h. 1-Recessed ceiling light at basement stair landing
- i. 1-Wall light at front entry (exterior)
- j. 1-Wall light at garage front (exterior)
- k. 1-Wall light at kitchen/dinette door (exterior)
- l. 1-Door chime
- (6) Light bulbs are the responsibility of the purchaser.
- (7) Television Reception Facilities: Time Warner Cable will provide Cable TV.
- (p) Intercommunication and/or Door Signal Systems, Security Closed Circuit TV

The condominium units will contain a standard door chime system. The chime will be located in the foyer with the button at the front door. The purchaser, as part of the fixture allowance, will select it.

(q) Public Area Lighting

See Greenman-Pedersen, Inc. report

(r) Garage and Parking Areas

See Greenman-Pedersen, Inc. report

(s) Swimming Pool(s)

One swimming pool will be located within the project consisting of approximately 22,275 gallons and surrounded by a $56'-0'' \times 42'-0''$, 4'' concrete pool deck.

- (1) Type: The pool walls and floor shall be constructed of air implaced gunite concrete construction with a marcite finish coat. Pool walls will be designed so that walls and floor meet in a radii monolithic construction using a minimum of 4,000 lbs. test concrete. All walls and floor to have 3/8" and ½" reinforcing bars 12" on center. The pool will be adjacent to the Clubhouse located on the South-West corner of the development.
- (2) Size: 28'-6"x18'-0"x40'-0" custom pool. 3'-0" to 4'-11" deep with concrete steps. A maximum of forty-nine (49) bathers are permitted at any one time.
- (3) Enclosure: Not applicable.
- (4) Pumping and Filter System: Filtration system shall be designed for a 4.4 hour turnover on the pool. System shall consist of one (1) Sta-Rite modular media 300 square foot Cartridge Filters designed for 85 GPM and Sta-Rite 1 ½ HP Max-E-Pro 230 Volt Single phase pump and motor complete with hair and lint strainer basket.
- (5) Water Heating Equipment: Sta-Rite Max E Therm Electronic Natural gas fired, power venting pool heater 400,000 BTU for main pool complete with necessary face piping. Heater will be complete with power venting capability.
- (6) Structural Support: Not applicable.

(t) Tennis Courts, Playgrounds and Recreation Facilities

- (1) Tennis Courts: Not applicable.
- (2) Playgrounds: A tot lot, approximately 45'x50', will be located in the southwestern corner of the community. No fencing will be used; the area will be left open for the use and enjoyment of the Central Square Villas residents.

- (3) Other Recreational Facilities (Clubhouse): A clubhouse will be located in the southwestern corner of the community and consist of approximately 1,149 square feet.
 - (i) Total Height: The total height of The Clubhouse is approximately 15'-11" from the ground level to the highest point of the roof.
 - (ii) Crawl Spaces: Building will have a 4", fiber mesh reinforced slab on grade with 8"x4'-0" foundation wall over 16"x8" concrete footing. Slab to thicken to 8" at foundation wall transition.
 - (iii) Number of Cellars: Not applicable.
 - (iv) Number of Floors: The building will be a one floor layout.
 - (v) Equipment Rooms: Within main building, to contain furnace, hot water tank, pool heater, sink and other pool equipment. The room consists of approximately 132 square feet and is approximately 11'-0" x 12'-0".
 - (vi) Parapet: Not applicable.
 - (vii) Handicapped Provisions: Minimum 3'-0" doors at all passable doorways. One each, Women's and Men's accessible, single occupant, Lavatories. Slab on grade construction.

(u) Permits and Certificates

See Greenman-Pedersen, Inc. report

(v) Violations

See Greenman-Pedersen, Inc. report

(w) Unit Information

- (1) All construction proposed is new. The three (3) Hybrid unit types are approximately 1,243 square feet, 1,413 square feet and 1,316 square feet. The other four (4) unit types are approximately 1,236 square feet, 1,238 square feet, 1,270 square feet, 1,366 square feet, 1,381 square feet, 1,266 square feet, 1,285 square feet, 1,038 square feet and 1,046 square feet. The principal rooms are the family room, dinette, kitchen, laundry area, full bath and 2 bedrooms for all unit types offered. Some unit types contain an additional powder room and / or full bathroom.
- (2) The materials and finishes of each unit is as follows:

- (i) Walls: ½ inch gypsum wallboard on walls and ceiling planes with two (2) coats of flat latex paint on walls and textured sprayed ceilings.
- (ii) Woodwork: Around all doors, windows and base shall be painted with two (2) coats of high-gloss trim paint or stained.
- (iii) Flooring Covering:

<u>Cambridge</u>: The foyer, powder room, main bath, laundry room, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

<u>Livingston</u>: The foyer, guest closet, rear hall, powder room, main bath, laundry closet, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

<u>Winston</u>: The foyer, guest closet, rear hall, powder room, master bath, main bath, laundry closet, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

<u>York</u>: The foyer, guest closet, hall to bedroom #2, master bath, main bath, kitchen, dinette and laundry closet floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

(iv) Kitchen cabinets will be manufactured by "Homecrest" cabinets or equal. The cabinets are equipped with wood doors with recessed panel styling. Drawer fronts will be ¾ inch thick, solid hardwood with machined edge profiles to match door front. Cabinets include full adjustable, self-closing exposed hinges and ¾ inch thick laminated adjustable shelves. Kitchen counters will have laminate or equal tops offered in optional colors to be selected by the purchaser.

(3) Appliances:

- (i) Dishwasher Whirlpool DU1015XTX or equal.
- (ii) Range Hood Nutone RL6130 or equal.

Description of

Central Square Villas Condominium Association

Property and Specifications

(4)Plumbing:

Cambridge

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

Livingston

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box and overflow pan.
- 2-Exterior cold water faucets.

Winston

- 1-Sterling 72220100-0 Ensemble Curve 48" shower (white) with Kohler K-P304-K-NA/K-P15611-4-CP lever handle faucet (chrome) or equal.
- 2-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 3-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or
- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.

Description of Central Square Villas Condominium Association **Property and Specifications**

- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

York

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 2-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or
- 1-Sterling 72220100-0 Ensemble Curve 36" shower (white) with Kohler K-P304-K-NA/K-P15611-4-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

(x) Finish Schedule of Garage and Basement

The basement floor will be a 4" thick poured concrete floor over crushed stone. An interior 4" drain tile is placed along the footing around the perimeter of the foundation.

Doom	mt :			reamadion.
<u>Room</u> Garage	<u>Floor</u> Concrete	<u>Walls</u> Gyp. Wall Board &	<u>Ceiling</u> Gyp. Wall Board	R <u>emarks</u>
Pasamana	_	Conc. Block	71- Truit Board	None
Basement	Concrete	Concrete	Joists & Sub Floor	None

(y) Safety and Warning Devices

Each unit will be equipped with one (1) smoke detector and one (1) carbon monoxide detector on each floor and one (1) smoke detector in each bedroom.

(z) Additional Information Required

- A site plan is included with this report showing locations of all building, (1)driveways, and storm drainage and detention basin.
- An area map showing the condominium site with respect to its surroundings is (2)
- Four (4) basic floor plans are being offered and are included. (3)
- Minimum floor to ceiling heights for each unit is 8 ft. (4)

Description of Central Square Villas Condominium Association Property and Specifications

(5) Landscape plan.

Sections (aa), (bb) and (cc) do not apply.

Description of Central Square Villas Condominium Association Property and Specifications

(a) Location and Use of Property

See Greenman-Pedersen, Inc. report

(b) Status of Construction

See Greenman-Pedersen, Inc. report

(c) Site

See Greenman-Pedersen, Inc. report

(d) Utilities

See Greenman-Pedersen, Inc. report

(e) Sub-Soil Conditions

See Greenman-Pedersen, Inc. report

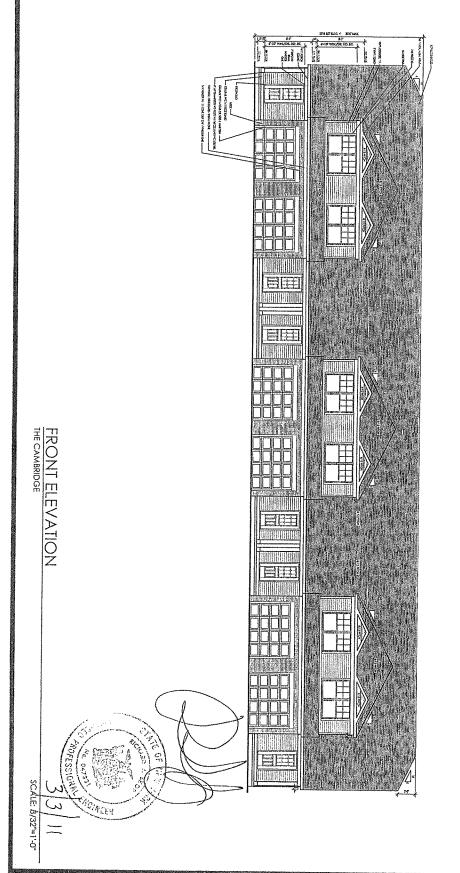
(f) Landscaping and Enclosures

- (1) Grass Cover: Grass will cover the entire Condominium property with the exception of the building footprints, roadways, driveways, walkways, pool and pond. The site will be seeded with a standard grass seed mix.
- (2) Plantings: The property will be landscaped utilizing a standard landscape design. Please refer to the landscape plan attached to this report.
- (3) Trees: Various trees will be located throughout the property. Please refer to the landscape plan attached to this report.
- (4) Fencing: A wood fence will run along the eastern edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (5) Gates: Not applicable.
- (6) Garden Wall: Not applicable.
- (7) Retaining Wall: Not applicable.
- (8) Display Pools and Foundations: Not applicable.

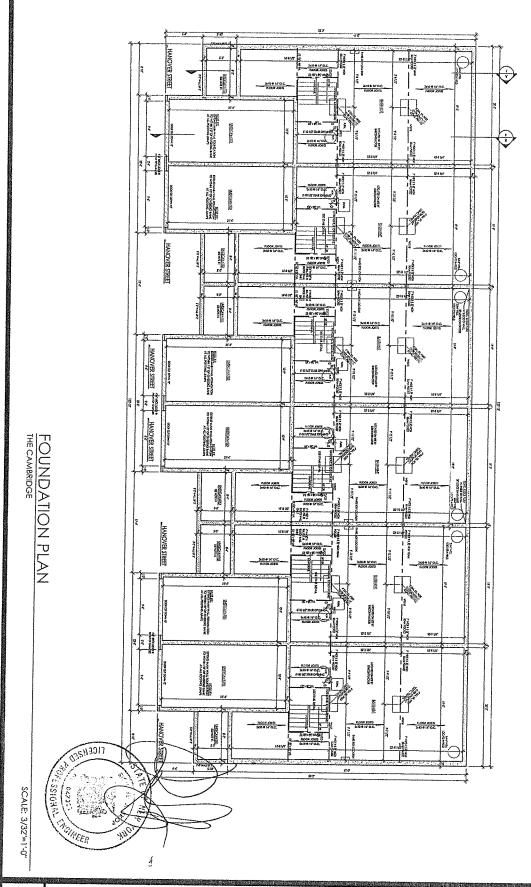
(g) Unit/Building Size:

Four (4) unit types will be offered to Purchaser. The Cambridge consists of approximately 1,236, 1,238 and 1,270 square feet. The Livingston consists of approximately 1,366 and 1,381 square feet. The Winston consists of 1,266 and 1,285 square feet. The York consists of approximately 1,038 and 1,046 square feet.

COMMENS AND PROTECTION AND PROTECTIO	MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD WEST SENECA, NY 14224 PHONE (716) 675-1200 FAX (716) 675-0210 WWW.MARRANO.COM			MARRANO		LICENSED ENGINEER: RICHARD J. SKOP 3140 RT. 394 P.O., BOX 151 P.D., BOX 151 PHONE (7) 6) 758/599 PHONE (7) 6) 758/599 PHONE (7) 6) 758/599
R SYSTEM	CERCATIONS ARE THE SOLE MERCHANDINS ARE THE SOLE MERCHANDING CEGUTY (MAMEL INVALIFICACED USE OF FLAKE SECRETARY TO CHARGAS AND SPECEPICATIONS SIX COLEGET IS PRO-MERCE SESSARY TO CONFORM AND SIX COLEGET IS PRO-MERCE SESSARY TO CONFORM AND SIX COLEGET IS PRO-MERCE SESSARY TO CONFORM AND SIX COLEGET INVALIFICATIONS OF FLAKE STRUCTION PRODUCT MEDIATED SIX COLEGET INVALIFICATIONS OF FLAKE THE DEMONSTRATION OF MAINES SIX COLEGET THE CURRENT FROM MET NO RESPONSIBILITY FROM RECOVERED HE CURRENT AND RECOVERED HE COMPANY AND RECOVERED HE CURRENT AND RECOVERED HE COMPANY AND RECOVERED HE CURRENT AND RECOVERED HE	111 LAVER OF 1/4 TYPEX GYPSUM BOARD ON GARAGE CEINGS. 111 LAVER OF 1/4 TYPEX GYPSUM BOARD ON GARAGE CEINGS. 111 LAVER OF 1/4 TYPEX GYPSUM BOARD ON GARAGE CEINGS. 111 LAVER OF 1/4 TYPEX GYPSUM BOARD ON GARAGE SEED OF GARAGEMOUSE COMMON BOARD ON GARAGEMOUSE COMMON	ONNDATION WALLS RIP PRE RESISTANT INSULATION AND PRE RESISTANT INSULATION AND PRE RESISTANT INSULATION AND PRE PRESISTANT INSULATION WALL TO TOP OF POUNDATION WALL TO TOP OF PANAMENTED UNIMER (PLYLIS 1.15.10.00.000 OR 1.94 12. 12. 13. 14. 15. 16. 16. 17. 16. 16. 17. 16. 17. 16. 17. 16. 17. 17	MENINAMY OF 2" FROM MAY EDGE APO TROCE AND RANCHELLOR APON TO P PAINT OF BASINE A LEVEL BORRANTS LOAGS SHALL BE EEMAS, FOSTS, AND/DR SOLD LE NOTCHANG IN FLOOR JOISTS, NOS BEMAS ARE PER THE RESIDENTIAL REW TORSE STALL SOCIAL BE EEMAS, FOSTS, AND/DR SOLD LE NOTCHANG IN FLOOR JOISTS, WERE AN SOLD JUNGER JOISTS, THE CHILD HAVE SHALL NOT BECKED THE CHILD HAVE SHALL BE TO CHILD MALL ARE DAS STIDUS, 16" O.C. LIVAO, MALL ARE DAS STIDUS, 16" O.C. LIVAO,	S 5. 5. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2.	######################################
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OSS DECKING OVER 14 TII 13 © 7.95 EACH (1027) 14 © 7.77 EACH (1037) 15 © 8.037 EACH (1027) 14 © 7.95 EACH (1137) 16 © 7.737 EACH (1029) 7 17 © 7.75 EACH (1039) 7 12 0 7.55 EA	13 @ 7,70' EACH (100%')	15 @ 7.91" EACH [118½")	16 @ 7.60" EACH (1215%)	100		o American
PARTE REQUIRED AT TOP OF CONCRETE WALL IV. PRANTE PROCUIPED AT PROCUIPED AT TOP OF CONCRETE TO DE PROCUIPED FOR DIFFERENT PLOCA SLAB THACK HERDWOOD FLOOR OF CREAMIC IS PURCHASED. APPROPRIATE ADDRIONS MUST BE MANTE PROCUIPED AT TOP OF CONCRETE WALL IV. P	OSB DECKING OVER 14"TH 13 @ 7.88" EACH (1021/1)	15 @ 8.05" EACH (120%")	16 章 7.73"EACH [123次]]	5 P (
F HARDWOOD FLOOR OR CERANIC IS PURCHASED, APPROPRIATE ADDRICAS MUST BE MANE	THE PERSON NAMED IN COLUMN TWO IS NOT THE PERSON NAMED IN COLUMN TWO I			•	~	, Tarakan yang dari kang dari k
IF HARDWOOD FLOOR OR CERAMIC IS PURCHASED, APPROPRIATE ADDRIONS MUST BE	3) SILL PLATES REQUIRED AT TOP OF CONCRETE WALL	ALED EOS DIXCEBENT ELODO STOR IFFORMECOS			20	
	3) SUL PLATES REQUIRED AT TOP OF CONCRETE WALL TOP OF BASEMENT SLAB IS 1" ABOVE TOP OF FOOTWIG BASEMENT SLABS ARE 3½" THICK, RISERS WILL NEED TO BE RECALCUA	(CONCRETE TO OSB/OSB TO OSB), NOTE THAT IF HARDWOOD FLC	DOR OR CERAMIC IS PURCHASED, APPROPRIATE ADDITION	M/ME	CORPORATION	No k oo

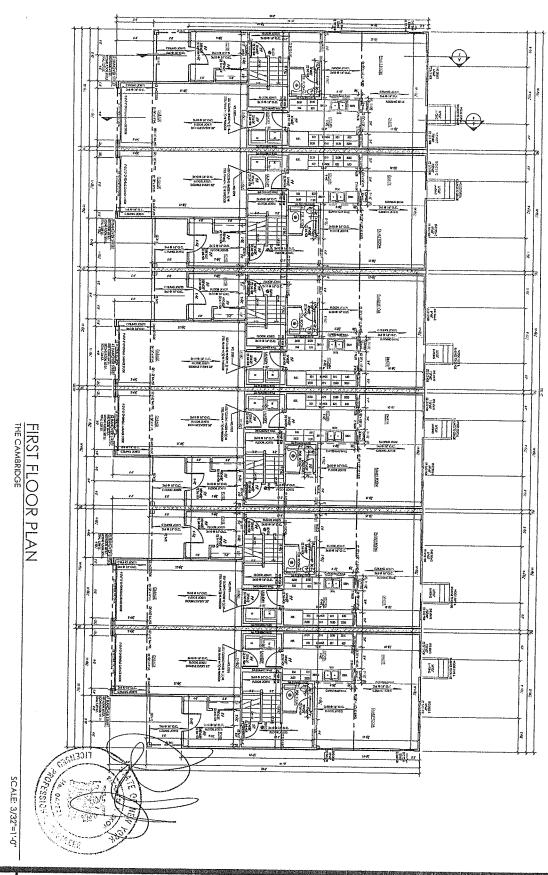


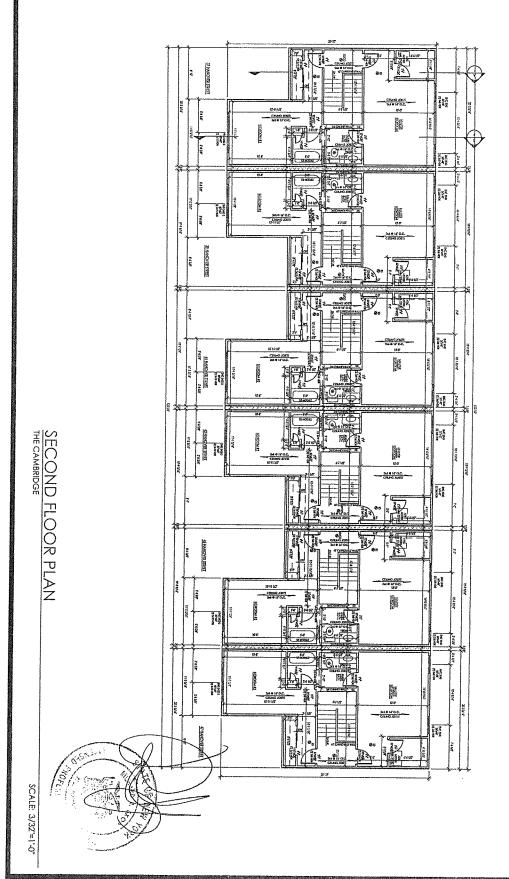




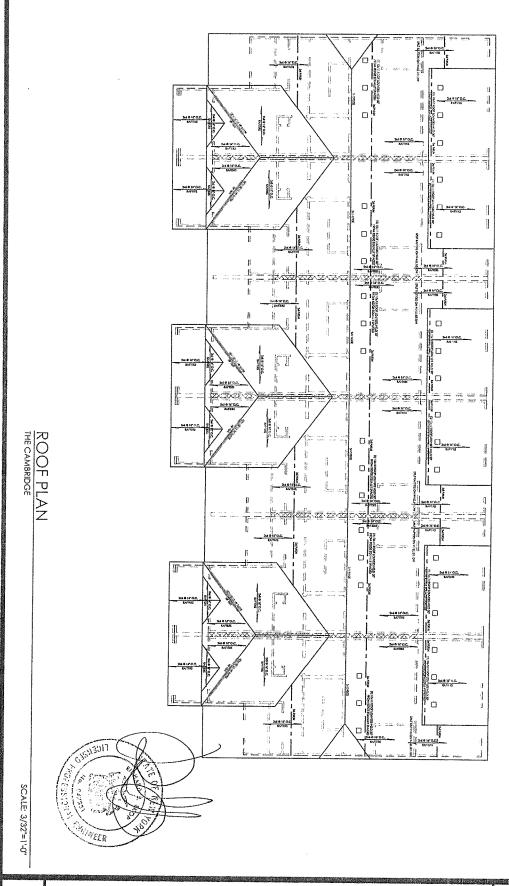
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THE CAMBRIDGE 6 CENTRAL SQUARE VILLA TOWNHOMES MARRANO/MARC EQUITY CORPORATION





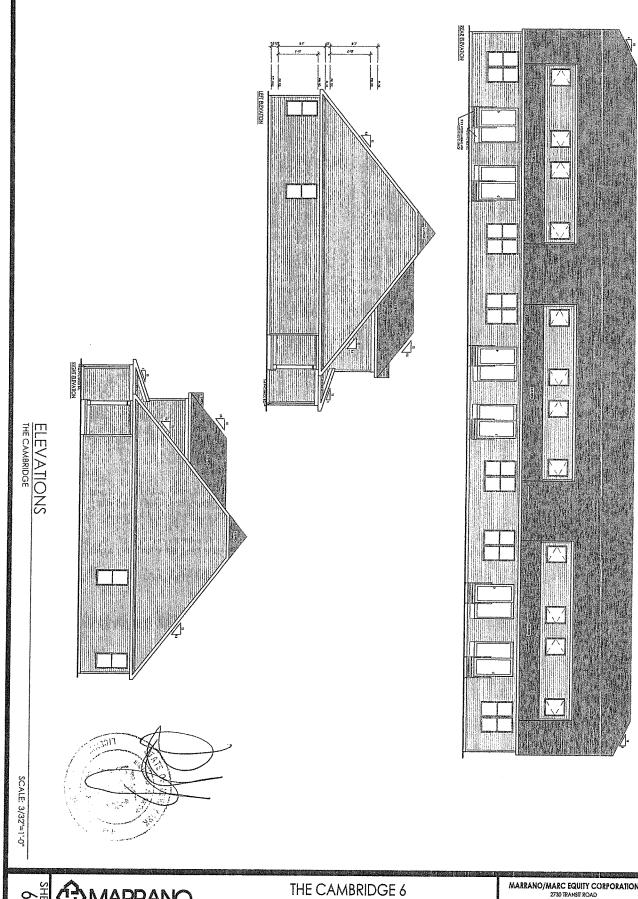
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THE CAMBRIDGE 6
CENTRAL SQUARE VILLA TOWNHOMES

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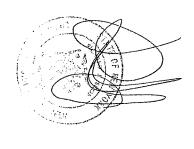


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CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD WEST SENECA, NY 1 4224 PHONE JUL 3675-1200 EAV JUL 3675-0210 WWW.MARRANO.COM

BUILDING SECTION A

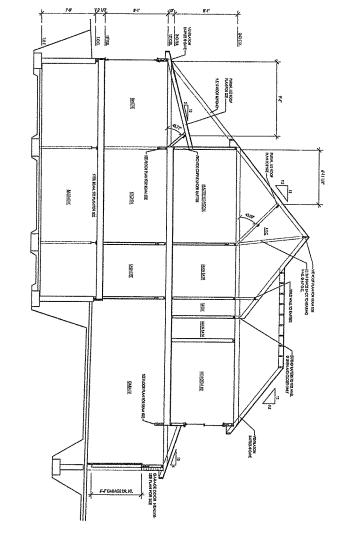


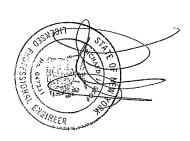
SCALE: 1/8"=1'-0"



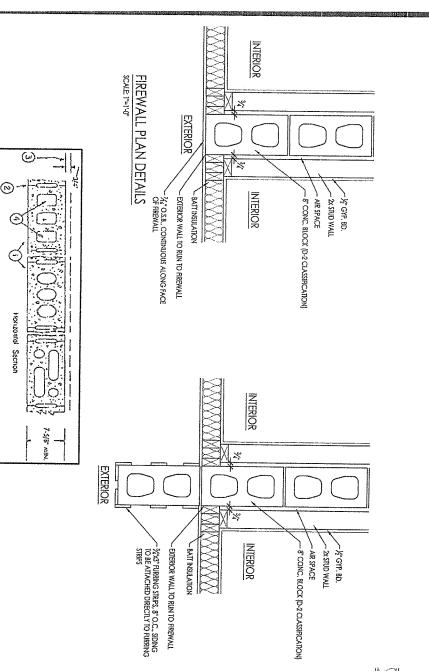
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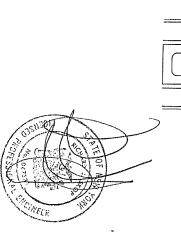
THE CAMBRIDGE 6 CENTRAL SQUARE VILLA TOWNHOMES MARRANO/MARC EQUITY CORPORATION
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WEST SENECA. NY 14224
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WWW.MARRANO.COM

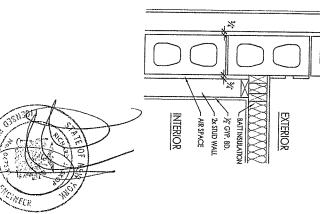




SCALE: 1/8"=1'-0"







- 1/4" O.S.B., CONTINUOUS ALONG FACE OF FIREWALL

- 8" CONC. BLOCK (D-2 CLASSIFICATION) -¾x3" FURRING STRIPS, 8" O.C., SIDING TO BE ATTACHED DIRECTLY TO FURRING STRIPS

NTERIOR

*Bearing the UL Classification Marking

Feamed Plastic* - (Optional - not shown) 1-1/2 in thick max, 4 ft wide sheathing attached to concrete blocks (from 1).

Celotex Corp. - Type Thermax

Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded day or stude (robary kina process), water repellant vermiculite mesonry fill insulation, or silicone treated pertite loose fill insulation and 2 hr to Classification.

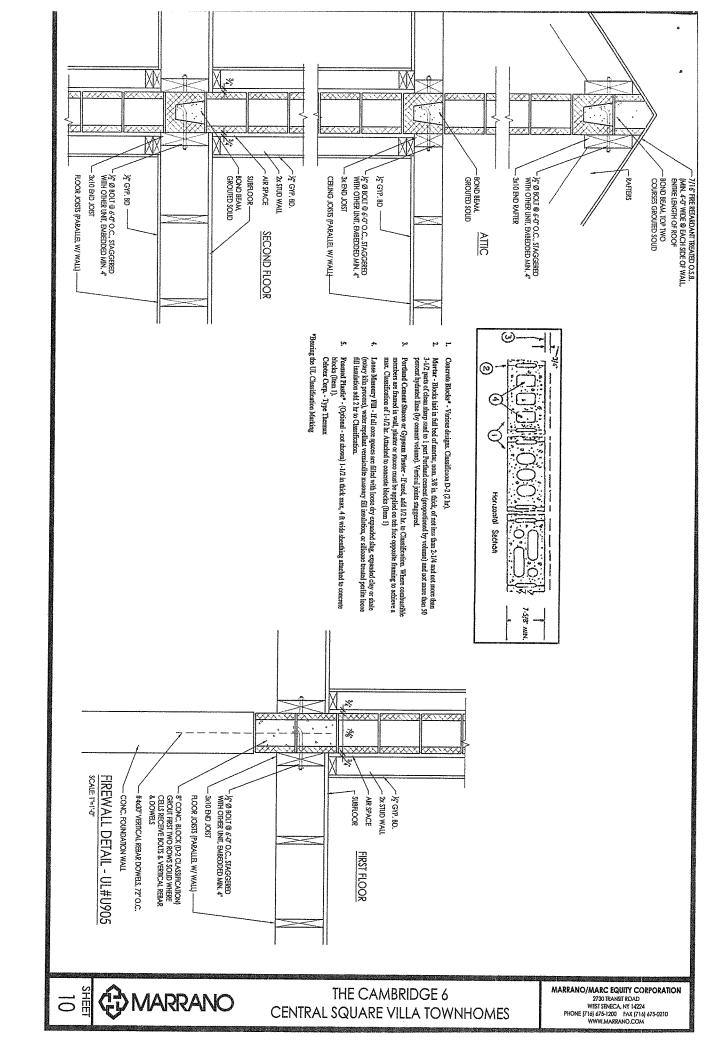
Mortar - Blocks Isid in full bed of mortus, nom. 38 in thick, of red less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to I part Portland cement (proportioned by volume) and not more than 50

percent hydrated lime (by cement volume). Vertical joints staggered.

Concrete Blocks* - Various designs. Classificacon D-2 (2 hr).

Portland Cement Stuceo or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stuceo must be applied on thi face opposite framing to achieve a

max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)



MARRANO/MARC EQUITY CORPORATION

I WARRANC

3160 RT. 394
P.O. BOX 151
BUFFALO NV 14785
PHONE [716] 725-5990 FAX [716] 763-6854

SIONAL SEAL

RICHARD J. SKOP

2730 TRANSIT ROAD WEST SENECA, NY 1428 PHONE [716] 675-1270 FAX [716] 675-0210 WWW.MARRANO.COM

GENERAL NOTES

- PLASS AND SECURCANCES AS IN ESCALE
 PROPERTY OF AMPRIAND JAMES DESCRIPTION OF PLASS AND SECURCANCES
 WITHOUT WATERS DO COSSER E REPORT DE
 CORPORATION FOR AND AND SECURCANCES
 WITHOUT WATERS DO COSSER E REPORT DE
 AND SECURCAN DE
 AND SECURCAN DE
 CORPORATION OF PLASS AND SECURCANCES
 WITHOUT WATERS DO COSSER E REPORT
 AND SECURCANCES
 AND SE
- TO STATE AND SECURIOR OF THE SECOND OF THE S NSIONS ON THE DRAWINGS AND/OR THE COMPLANCES, OR BETWEEN THE TWO, SHALL STROUGHT TO THE ATTENTON OF MAINES STINGS DEPAYINGSHICK PROJECT FEVENCE MAINED ATTENT OR PROJECT FEVENCE INMEDIATELY UPON THEM
- DO NOT SCALE DIABSSIONS OFF OF THE DRAWNINGS. WILLIES THE DIAMSSIONS ON THE MANAGEMENT OF THE ANALYSIONS ON ASSIMILATION ASSIMILATION ASSIMILATION ASSIMILATION ASSIMILATION ASSIMILATION ASSIMILATION ASSIMILATION OF A STATE DIAMSSIONS.

 THE PLANTS LIKET OF EXCESS THE CURRENT TENY YORK STATE BURGET CODE AND REPOSENTAL ROOF

INSULATION NOTES

A.1. GROUND SKOW LOADS STEE A.2. SECOND LIVEL LOADS STORE A.2. EVEN LOADS STORE A.3. FEST LEVEL A.3. LIVEL LOADS AT SEE A.3. LIVEL AND LOADS TO SEE A.3. LIVEL AND LOADS TO SEE A.3. LIVEL AND LOADS TO SEE A.3. LIVEL LOADS TO SELVE MALE FOLLOW AL PRICE AND LOADS TO SELVE MALE FOLLOW ALL PRICE AND LOADS AND SERVING CODE OF NEW

- I. BRIGE HOME TO BE INSULATED TO A NORMALIM OF THE FOLLOWING GUIDBLINGS.

 1.1. ANT AND SLOPED CENAGS WITH ATTIC SPACES TO BE 838 AS FOLLOWS.

 1.1.1. (1) LAYER OF RIP LAD IN THE 1.1.2
- 122 TYPICAL AT ALL F CATHEDRAL CELFIGS: IT LAYER OF RIP LAYER.
 PERPENDICULAR TO REST RIP LAYER.
 PROVIDE BAFFEES AT EAVEST TO
 INSURE A MANAUM OF 1½" CLEAR
 VENITALITON SEA CESSIVERY THE
 UNDERSORE OF THE ROOF
 SHEATHNIG AND THE BAFFLE.
 TYPICAL AT ALL RATIESS. 10.1.3.

FIRE SEPARATION

NEC IN ELMA ONLY.

ALL COLVENTIONAL LUMBER HEADERS TO 8H
PER RESUBBITIAL CODE OF NYS.
ALL ELECTRICAL WORK TO BE INSPECTED BY
BOARD OF FIRE UNDERWATTERS ACCORDING TO YORK STATE.

TYPE'K COPPER FINING TO BE USED IN ELMA
ONLY

FREE SEPARATION IN HOMSS WITH ATTACHED GARAGES TO CONFORM TO THE RESIDENTIAL CODE OF HISW YORK STATE, SECTION R309, SPECIFICALLY R309.2.1 & R309.2.2.

Definition who so stud walls.

Each R13 with 2 min 2 10.2. 10.2.1.

光 12G OSB DECKING OVER 14" い

13 @ 7.88" EACH (102%")

BASEMENT SLARS ARE 3/7 THICK, PISERS WILL NEED TO BE RECALCUATED FOR DIFFERENT FLOOP SLAB THICKNESSES

MUSES: YA ARANGES AOW REPREEM HE OVERALL HEIGH (CONCRETE TO OSS)OSS TO OSS), HOTE THAT IF HARDWOOD FLOOR OR CERALLE SEPECHASED, APPROFIXED APPROFIXED ADDITIONS MUST BE ADDITIONAL THE RESERVE FROM SECRETION RECOVERY.

TOP OF BASEMENT SLAB IS 1" ABOVE TOP OF FOOTING

SEL PLATES REQUIRED AT TOP OF CONCRETE WAL

37 TAG OSB DECKING OVER 1135 TJI | 13 S 7.70' EACH (100%)

1/2" TAG OSB DECKING OVER 2x10 FLOOR SYSTEM

% 14 G OSI DECKING OVER 2X12 | 13 \$7.45 EACH (975) | 14 \$7.57 EACH (105) | 15 \$7.87 EACH (118) | 14 \$7.57 EACH (107) | 15 \$8.00 EACH (121)

14 @ 7.62" EACH (106號) 15 @ 7.91" EACH (118號) 14 @ 7.83" EACH (109號) 16 @ 7.60" EACH (121號) 14 © 7.77" EACH (103%) 15 © 8.05" EACH (123%) 14 © 7.58" EACH (111%) 16 © 7.75" EACH (123%)

17 @ 7.99" EACH (135%") 17 @ 7.82" EACH [135") 17 @ 7.71" EACH (1317) 17 \$ 7.86" BACH (133%")

₽ P 1.0.0.

850 F2 F4 1260

MARRAMO/MARC EQUITY CORPORATION OPIENTED STRAND BOARD LAMINATED STRAND LUMBER LAMINATED VENEER LUMBER TONGUE AND GROOVE CENTER LINE TOP OF CONCRETE TOP OF WALL ON CENTER UNLESS NOTED OTHERWISE

15 \$ 7.73" EACH [1167] | 14 @ 7.64" EACH [1077] TYPICAL CEILING HEIGHTS
9'-0" BASEMENT 8'-1" 151/2ND F

8'-1" 15T/2ND FLOORS

9'-1" 151/2ND FLOORS 10'-1" 151/2ND FLOORS

15 @ 7.93" EACH [1197]

1.0. 1.0.

TOP OF

8 **(E)**

SMOKE/CARBON MOHOXIDE DETECTOR SMOKE DETECTOR

U.N.O.

SYMBOLS AND ABBREVIATIONS

13 @ 7.50" EACH (97½") | 13 @ 8.00" EACH (1047)

7-0" BASEMENT 123

B'-O" BASEMENT

TYPICAL RISER COUNT AND HEIGHT

(1) LAYER OF 3/2" TYPE X GYFSUM BOARD ON GARAGE SIDE OF GARAGE/HOUSE COMMON WALLS. (I) LAYER OF 1/2" TYPE X GYPSUM BOARD ON GARAGE CERING.

į

- PROVIDE FIRE BLOCKING ABOVE STEEL BEAM.
 FOR ANY HABITABLE SPACE AT FRONT END OF (1) LAYER OF 1/2" TYPE X GYPSUM BOARD ON HOUSE SIDE OF GARAGE/HOUSE
- HECOGLECTES

 ORBITISHES MAD OFFICE

 FRODUCTS OF CONSUSTION AND OFFICE

 FRODUCTS OF CONSUSTION AND OFFICE

 FRODUCTS OF CONSUSTION AND OFFICE

 FRODUCTS OFFI

 FRODUCTS OFFI MINIMUM OF 2-0" PAST SUPPORTING
- OPENING PROTECTION TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION R309.1.

 PROVIDER YI HOUS FIRE BATED DOOR WITH STEEL FRAME AND SELF CLOSING DEVICE.
- 9.1. (2) PLY LVL LAND LSL MEMBERS ARE TO FASTENED TOGETHER PER THE FOLLOW-OR METHOD:
- %"Øx%" LAG SCREWS STAGGERED TOP AND BOTTOM 16" O.C. AND
- COUNTERUNK,

 O BY INCHES ON IZ) CS MOSE

 WASALTWISHOWN (LIMBER MEMERS AN

 SIEL FUNTER) FOR THE PROPOSE OF

 TOCHERN IN THE PROPOSE **:** 4 5
- 1.1. USEK/BODIS, 17°OC.
 SAGGEED TOP AND DITTOM AND
 PLICED A PROMING OF TROM
 ANY BODE.
 TOP LOADED MEDIAGES (MEMBERS
 BENEVA OVER BEAR!)
 1.1. USEK/BODIS, 12° OC. SAGGENED
 1.1. USEK/BODIS, 20°OC. SAGGEN ROOF NOTES <u>;;</u>
- SHEATHING AT ROCK TO BE 1/6" OSB ROOF UNDERLAYMENT TO BE 15# FELT PAPER SINGLE LAYER OF ICE AND WATER SHIELD

- <u>.</u> . 5 FOUNDATION WALES

 HUNG AT TOP OF ENSURATION

 WALL TO TOP OF EASINGT HOOR

 ROOKS OVER UNCONSTROAD ILE

 BEDROOMS OVER UNCONSTROAD ILE

 CANTENTERED SPACES.
- .5.I. 3

FLOOR NOTES

- EM BOARD PER ROOR LOST SYSTEM USED.
 START FIRST JOST 16 FROM PIN BOARD ON ALL
 SDE OF HOUSE UNAO.
 ACDULUS OF ELISTICITY FOR LAN-WIED
 VENERE UMBER (INV) IS 1/34 J000,000 OR 1.9e
 UNIO.
- UNIO, MODUUS OF ELASTICITY FOR LANDRIATED STRAID LUMBER (LSL) IS 1.55x1,000,000 OR 1.55e
- **TONGUE & GROOVE GAS OVER CONVENIENDAL FLOOR JOSTIC PRODUCT TO BE STRUCTURE GOLD FROM LEVEL OF TOPS OFFICH HASH PERFORMANCE FROM LP. BASEMENT LANDAGS ONLY TO HAVE %*PLYWOOD FLOORS: G.
- FLOOR JOIST SHEATHING TO SPAN FREPLACE
 DOUBLES: AND TO BE PARALLEL WITH
 CANTLEVERED JOISTS. PROVIDE SLEEPERS
 SETWEEN JOISTS PARALLEL TO FOUNDATION
- WALL NOTES

DOUBLE 2x PLATE AT TOP OF WALL

- PROVIDE SUPPORT BLOCKING BETWEEN LOCITS.

 470 OCI. MAX. AND BENGAIT BESCANG.
 PARTITION SE PARALLE TO THE SPAN OF THE LOCIT.

 EXTENDIAL SPANNING ALBIERES SPANT INFO.

 SUPPORT BEAUT SCENTERING TO PROVIDE A COVERAL OF WITH ADJACENT SPANNING MEMBER.
- S'GYPESIM WALL BOARD.
 MIERCH WALLS ARE 264 SILDS, 16" O.C., U.N.O.
 ENTERCH WALLS ARE 264 SILDS, 16" O.C., U.N.O.
 "EMPOSILIRE VINYL SIDING OVER A LAYER OF
 ARE INSTITUTIONS BARBERS OVER X'," OLD
- គ SHEATHNO UNIO.

 SHEATHNO UNIO.

 ALL HISADES NOT MARKED SHALL BE (2) 2:6

 ALL WINESIOR OPENIOS ARE 6-103" HIGH UNIO.

 ANGLED WALLS ARE 43" UNIO.

 DIMENSIONS FOR INTERIOR WALLS ARE TO FACE
- YEXTERIOR SHEATHING ON ALL INSULATED SPACING UNCONDITIONED SPACES, LE BRICK FRIEZE WHERE APPLICABLE TLEBGES ARE TO BE MADE FROM 2-6 FOR EXTERNOR WALLS ARE TO FACE SHEATHING (OR BRICK WHERE
- LEAVE SUBFLOCK LOCKE ON PLANT LEDGES THAT ARE LOCATED OVER

TUB DECK NOTES (IF PURCHASED)

SQUARE EDGE AT FRONT EDGE OF DECK UN.O.
TOP OF DECK TO BE 22" OFF OF SUR-LOOR
UN.O.
24 CLEAT AT PERIMETER TO SUPPORT DECK
CERAMIC THE AT PLATFORM FACE AND TOP OF (2) LAYERS OF ½" TAG PLYWOOD, STAGGER SEAMS.

DECK U.N.O. THE UP WALL TO VANITY BACKSPLASH HEIGHT U.N.O.

Ξ

- 5 ALLOWABLE NOTCHARG IN FLOOR JOISTS,
 RAFTERS AND BEAMS ARE FER THE RESIDENTIAL
 CODE OF NEW YORK STATE, SECTION RS02.8.)
- 333 3.2

I. RAISEALL 2003 FLOOR AD SECRETARY DE GEAVAIX DO SE LOOR ALOR RECHES LE GEAVAIX ABOVE TOP FLAIR TO BOURE A FEVE. ALL CONCENTRANTE LOLANDS SALL GE TERS. VASEPRED TO DESERVATE CONTRANTON VALLS CE FERS. VAL GEAVAIX POSTS, ALLODO SOLD

- NOTCHES IN SOLID LUMBER JOSES, RAFERS, AND BEAMS SHALL NOT EXCEED & OF THE DEBTH OF THE ANDMER! NOTCHES SHALL NOT BE LONIGER THAN & THE DEPTH OF THE MEMBER.
- NOTCHES SHALL HOT BE LOCATED IN THE MODELS OF THE MEMBERS OF THE MEMBERS SHALL DO SEE AT THE SHOOT OF THE MEMBERS OF THE MEMBE 5

A-STALLED AT EDGE OF EAVE TO A POINT AT LEAST ZE INSIDE THE EXTENCE WALL IN #2 OF THE BULDING (PROSZZZ))

DOUBLE LAYER OF UNDERLAYMENT REQUISED ON ROOP SLORES OF #12 & UNDERLAYMENT STANDALTS X-SPRALT STANDALTS X-SELECTED.

- ALL ROOF OVERHANGS ARE 11-0", MEASURED FROM FACE OF EXTERIOR SHEATHRING, BRICK, MALT SHINGLES AS SELECTED. TILATED VINYL SOFFIT AT ALL HOSTZONTAL
- 24 COLLAR TIES 48"O.C.
 USE 2X10 AT ALL HIPS UNIO,
 PURIUS APE LOCATED DIRECTLY PELOW THE
 RAFTERS AND ASE TYPICALLY BRACED TO
 BEARING WALLS OR REAMS WITH 2X4'S 48"O.C.

FICENSED

Jones 1/8/00

B

"MOFESSIONAL

S cores

SAVEER

MITHMUM AHGLE FROM HORIZONTAL PLATEE
FOR ALL BRACING IS 45°.
DIMENSIONS FOR RAFTER SPANS ARE SHOWN AS
THE UNSUPPORTED HORIZONTAL RUN, U.N.O.

LUMBER SPECIES & TRIM

- ALL LUMBER TO BE A MINIMUM OF #2 GRADE 2% NOMINAL LUMBER: UP TO 20"0" LONG TO BE SPRUCE OF HEM-FIR.
- 2.2. OVER 20 OF LONG TO RE DOUGLAS FR.
 3. 26 NODERNAL LIMINER:
 4.1. UP TO 20 OF LONG TO BE SPRUCE CON
 HEMMER.
 4.2. OVER 20 OF LONG TO BE SPRUCE CON
 4.2. LIMINOSINIAL LIMINER:
 4.1. UP TO 20 OF LONG TO BE HEMMER.
 4.1. UP TO 20 OF LONG TO BE HEMMER.
 5.1. OVER 20 OF LONG TO BE HEMMER.
 5. 20 TO 20 OF LONG TO BE HEMMER.
 5. 10 OVER 20 OF LONG TO BE HEMMER OR
 NOTICE ACT AND 5.2
- ALL WORF 2007 I CHIST OR BE DOUBLAST IP.
 ALL WOOD THAN IN DIE MIN-0000 ARE DAVIA.
 UN O. & NETALLED ACCORDENG OF ONE BEAVAIL
 UN O. & NETALLED ACCORDENG OF ONE AND ALT PUT HAVE NOT THAN THAN TO BE AFTER BEAVAIL UN O. &
 NETALLED ACCORDENG TO ANAMARCH COTTESS OR
 RECOMMENDATIONS. ALL PUC_TO BE TEXTURED.

SALES:

- DRAFTING: ESTIMATING: COORDINATION: PRODUCTION:

THE CAMBRIDGE 8

CENTRAL SQUARE VILLAS

SUBLOT #

LANCASTER

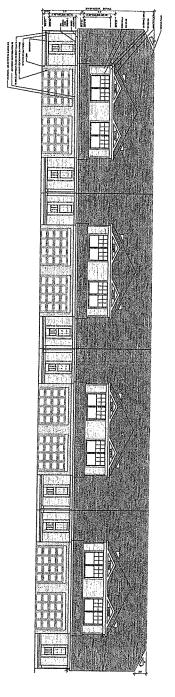
MODEL:
ELEVATION:
HAND OF HOUSE:
CONTRACT DATE:
JOB CODE:

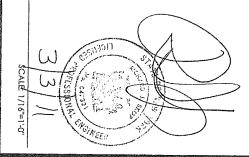
IST FLOOR GROSS: S.F.
2ND FLOOR GROSS: S.F.
CLERESTORY SPACE: S.F.
GARAGE: S.F.
PORCH(ES): S.F.
BASEMENT SLAB: S.F.
GARAGE SLAB: S.F.

PLOTTED ON: 3/3/2011 8:37:10 AM

DRAWING LOCATION:

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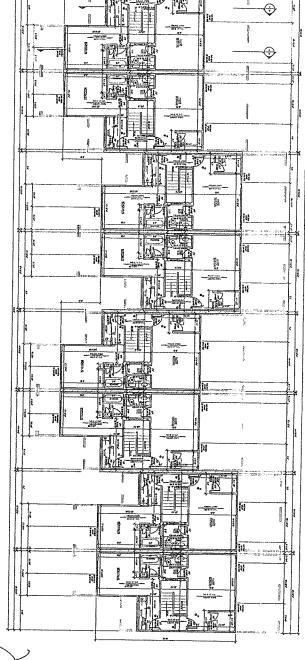
SCALE: 1/16"=1'-0"

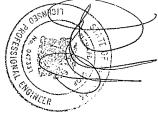
FIRST FLOOR PLAN

SCALE: 1/16"=1'-0"



MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD WEST SENECA. NY 14224 PHONE [76] 475-1220 FAX [716] 675-0210 WWW.MARRANO.COM



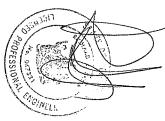




MARRANO/MARC EQUITY CORPORATION 2730 IRANSI ROAD WEST SENECA, NY 14224 PHONE [716] 457-1200 EAST, [716] 475-0210 WWW.MARRANO.COM

ROOF PLAN
THE CAMBRIDGE

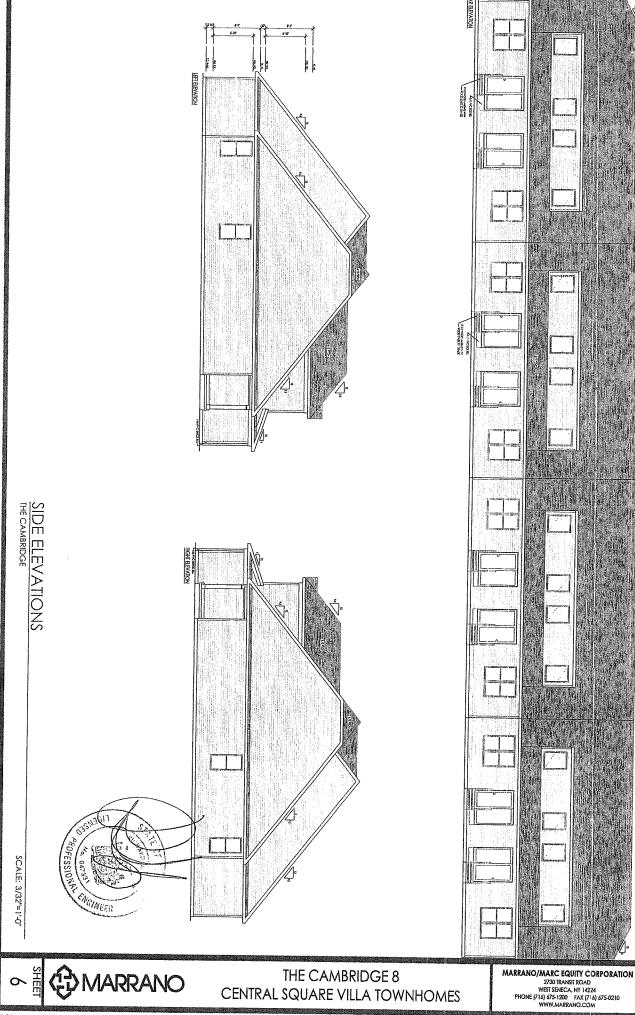
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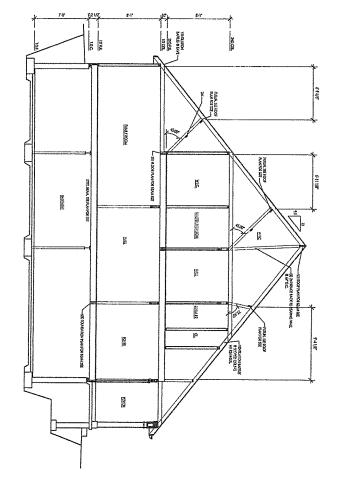


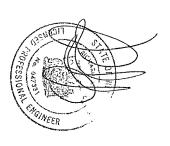
∽ 🖁 🚯 MARRANO

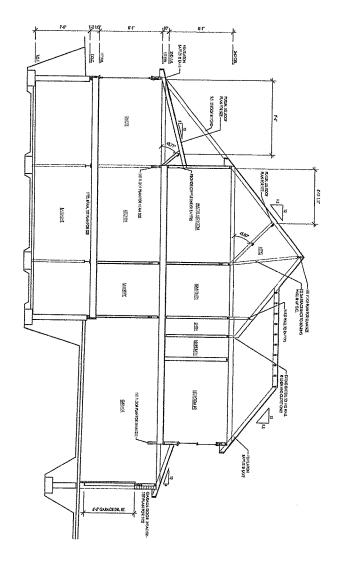
THE CAMBRIDGE 8
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD WEST SENECA, NY 14224 PHONE [716] 475-1200 TAX [716] 675-0210 WWW.MARRANO.COM

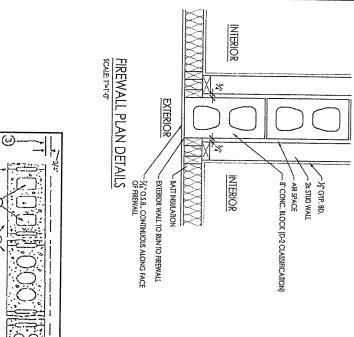








SCALE: 1/8"=1'-0"



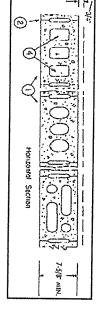
INTERIOR

NIERIOR

- BATT INSULATION

一覧 GYP. BD. 一公 STUD WALL

- AIR SPACE



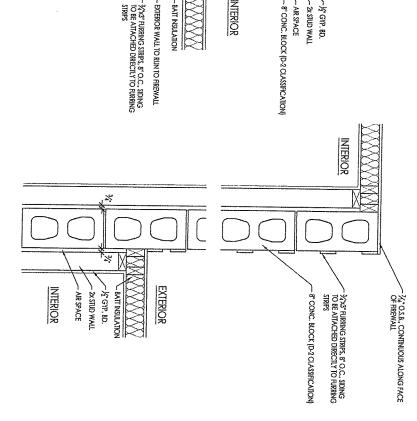
EXTERIOR

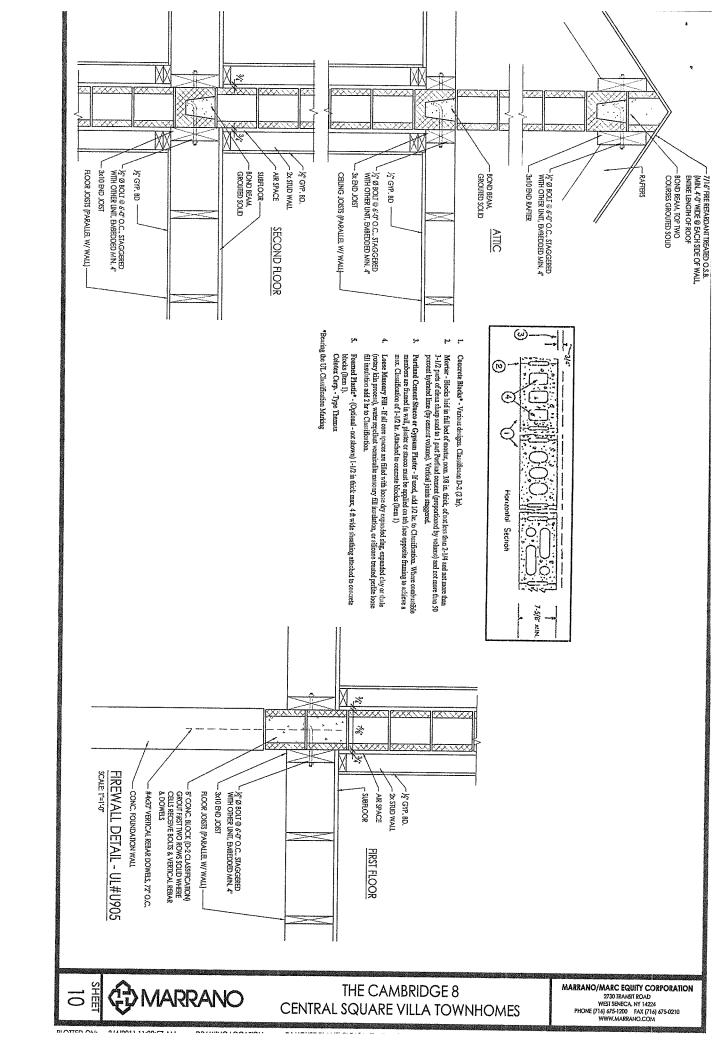
- Mortar Blocks laid in full bod of mortar, norn. 38 in: thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean shap sand to 1 part Fordland cement (proportioned by volume) and not more than 50 percent hydraid time (by cement volume). Vertical joints staggered. Concrete Blocks* - Various designs, Classificaon D-2 (2 hr).
- Portland Cement Stuceo or Gypsum Plaster If used, add 1/2 hr. to Classification. Where combinsible members are framed in wall, plaster or stucco must be applied on teh face opposite framing to achieve a max. Classification of I-1/2 hr. Athached to concrete blocks (from 1)
- fill insulation add 2 hr to Classification. Loose Masonry Fill - If all core spaces are filled with loose dry expanded sigg, expanded clay or shalo (rotary kiin process), water repellant vermiculite massanry fill insulation, or silicone treated peritic loose
- Reamed Plastic* (Optional not shown) 1-1/2 in thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).

 Celotes Corp. Type Thermax

*Bearing the UL Classification Marking



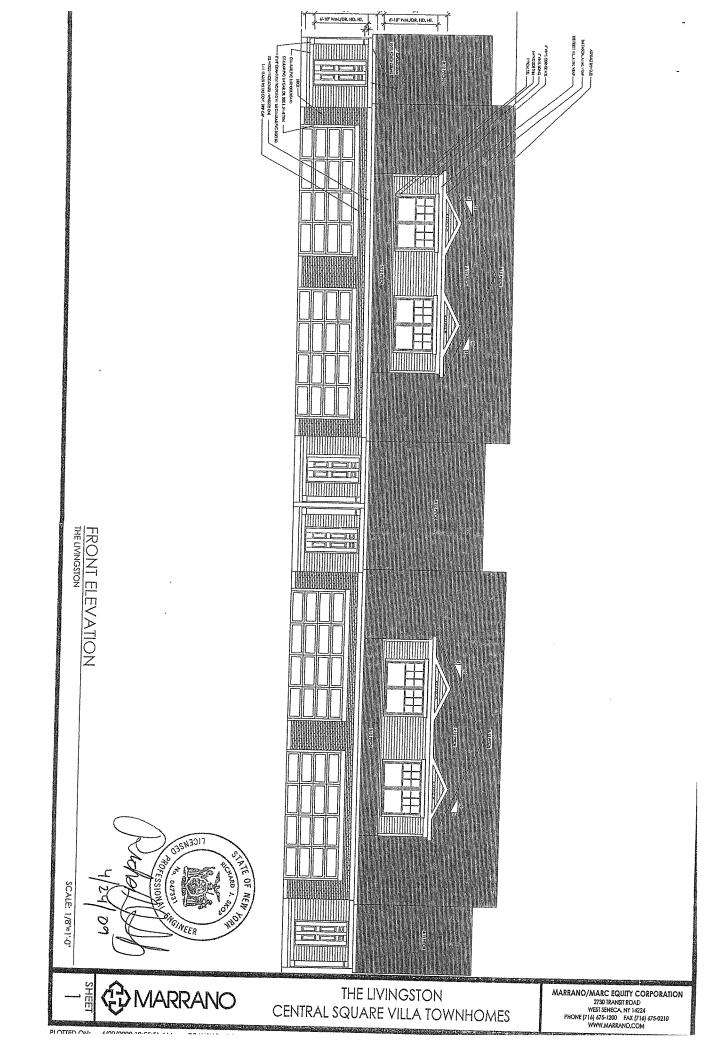


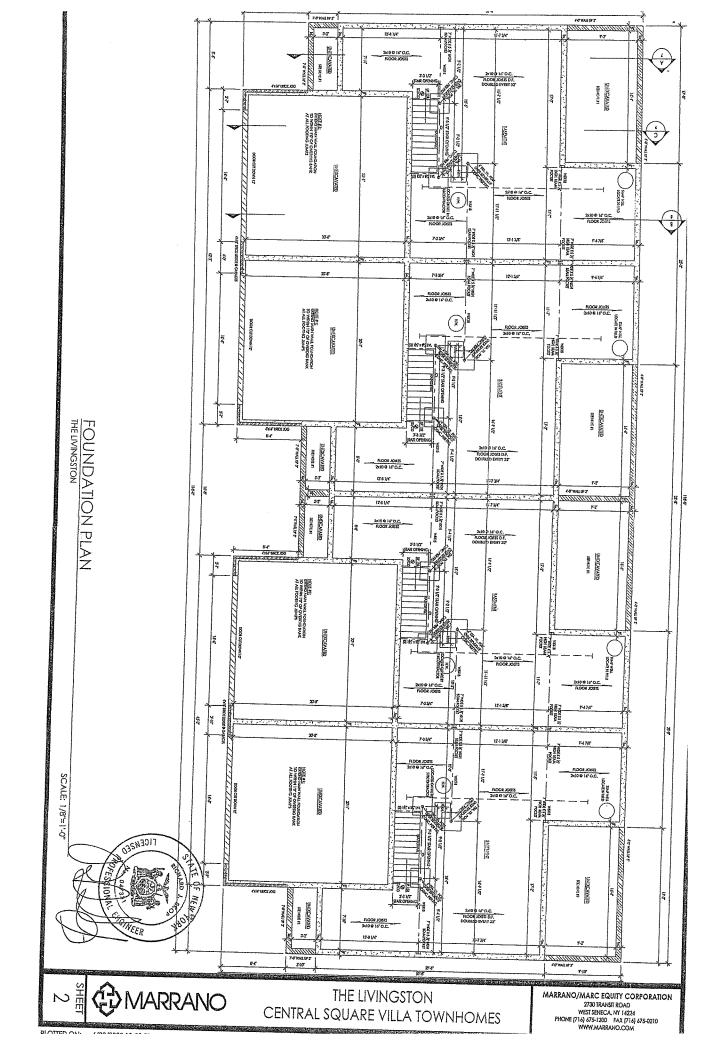


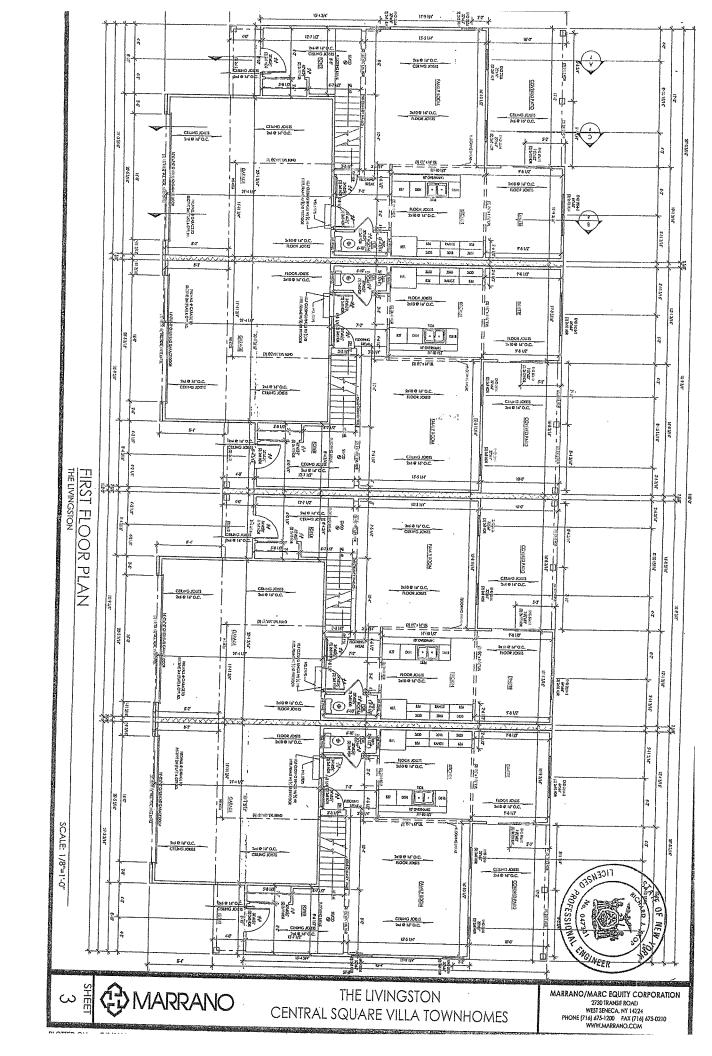
CORPORATION

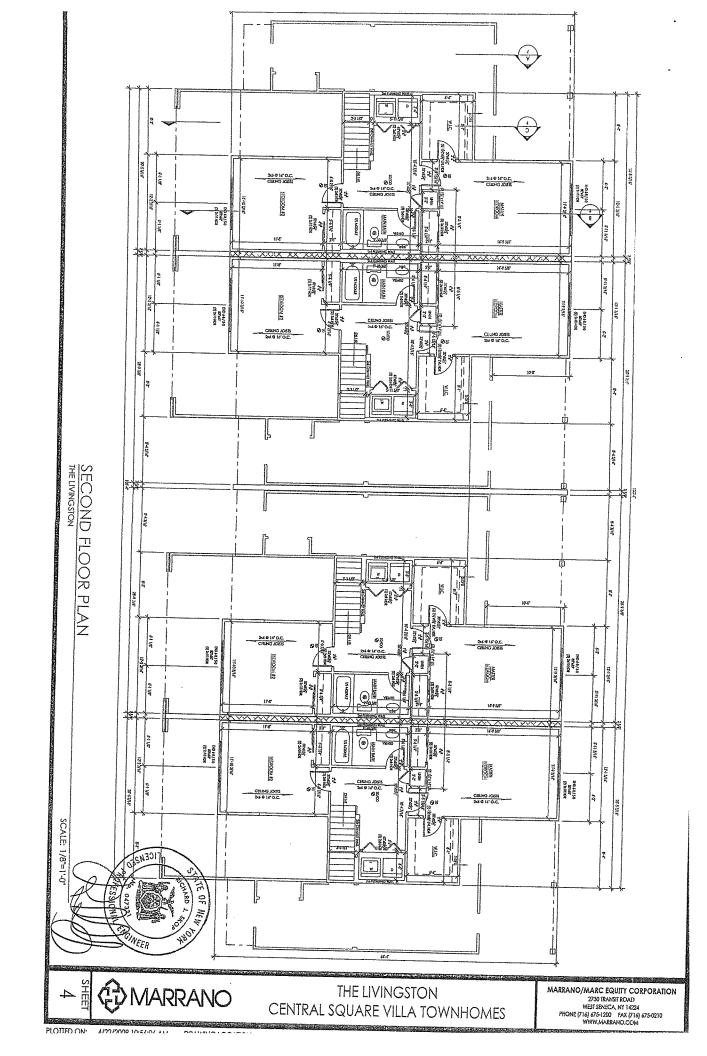
1/2 TAG OSB DECKING OVER 2x12 17 ILG OSE DECKING OVER 11%-TJI TOP OF BASEMENT SLAB IS 1" ABOVE TOP OF FOOTING "TLG OSB DECKING OVER 14" TJI 4" TAG OSB DECKING OVER 2×10 LOOR SYSTEM 2730 TRANSIT ROAD WEST SENECA, NY 14224 PHONE (716) 475-1200 FAX (716) 675-0210 WWW.MARRANO.COM BASEMENT SLABS ARE 3½" THICK, RISEPS WILL NEED TO BE RECALCUATED FOR DIFFERENT FLOOR SLAB THICKNESSES) SIL PLATES REQUIRED AT TOP OF CONCRETE WAT 4.1. ROOF 4.1. ROOF 4.2. SECOND EMBL. 4.2. SECOND EMBL. 4.3. REFOLENCE 4.3. PERFECENCE 4.3. PERFECENCE 4.3. PERFECENCE 5.3. DEAD LOAD, 10 PS 6.3.1 DEAD LOAD, 10 PS 6.3.2 DEAD LOAD, 10 PS 6.3.3 DEAD LOAD, 10 PS 6.3.4 REFOLENCE TO SECURION ALL APPLICABLE 7. COURRACTOR TO FOLION ALL APPLICABLE 7. COURRACTOR TO SECURION ALL APPLICABLE 7. COURRACTOR TO SECURION ALL APPLICABLE 7. COURRACTOR TO SECURION ALL APPLICABLE 8. DEAD STATE 8. DEAD STATE 9. SECOND TO SECURION ALL APPLICABLE 9. SECOND TO SECURION ALL APPLICABLE 1. COURS OF THE PROPERTY TO SECURION ALL APPLICABLE 1. COURS OF THE PROPE MARRANO/MARC EQUITY FIRE SEPARATION ers in parentheses above représent ine overall height (concrete 10 015/035 to 015), note that f hardwood floor of ceramic is purchased, appropriate additions hust be and the presentional recalculated BYCOLVIER, A DO NOT SCALE DIMENSIONS OFF OF THE DRAWINGS, UILLUE HE DIMENSIONS GIVEN MANUE YELL ASSULE TO RESPONSION FROM ERRODE MADE FROM ASSUMED DIMENSIONS, THE DIMENSIONS OF SCHOOL ASSUMED DIMENSIONS YORK STATE BURNSY CODE AND RESIDENTIAL YORK STATE BURNSY CODE AND RESIDENTIAL CORPORATION (n/n/s); u/n/ulti-located use or gerea change in the control of the GENERAL NOTES ONLY ALL CONVENTIONAL LUMBER HEADERS TO BE PER RESIDENTIAL CODE OF HYS. ALL ELECTRICAL WORK TO BE HISPECTED BY BOARD OF PREUMBRITEES ACCORDING TO HEC IN BLANA ONLY. FRE SEPARATION IN HOMES WITH ATTACHED GARAGES TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE SECTION R339, SPECIFICALLY R309/2.1 & R339/2.2 PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY OR IMMEDIATELY UPON THESE 13 @ 7.86" EACH (102%") 13 @ 7.70" EACH (100%) 14 @ 7.62" EACH (106%) 13 @ 7,65° EACH (99%) 13 \$ 7.50" EACH [975] 7-0" BASEMENT 3 14 @ 7.57" EACH (105") 121. INSULATION NOTES 14 @ 7.77" EACH (108%) | 15 @ 8.05" EACH (120%) | 14 @ 7.98" EACH (111%) | 16 @ 7.75" EACH (123%) | 17 @ 7.99" EACH (135%) 13 @ 8.00" EACH (1047) Define HOUSE TO BE INSIGNATED TO A MANAGUM OF REFOULD WING COUNTED BY I.I. RATA WOOD OF THE CERNICA WITH A THE I.I. RATA WOOD OF THE CERNICA WITH A THE I.I. RATA WOOD OF THE THE THE AS A STOLLING WITH I.I. WHEN OF RIP MAD IN THE I.I. WHEN OF THE AS THE AS THE AS THE I.I. WHEN IN THE MAD IN THE I.I. WHEN IN THE I.I. WHEN IN THE MAD IN THE I.I. WHEN IN THE MAD IN THE I.I. WHEN IN THE I.I. WHEN IN THE I.I. WHEN IN THE I.I. WHEN IN THE III WHEN IN THE I.I. WHEN IN THE COMMON THE BAM FOR ANY HARMAS RANGE STEEL BAM FOR ANY HARMAS RANGE AT RECNIT BE DO FOR BOOKING THE BAM FOR ANY HARMAS RANGE AT RECNIT BE DO FOR BOOKING THE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMMISSION AND TO FORM AN EFFECTIVE FIRE BASSER BETWEEN SOPREE AND BETWEEN HE TOP STORY AND THE BOOKING FOR AND FREE COCKING MILL BEPROVIDED AT THE FOLLOWING LOCATIONS. Ξ Ņ 8'-0" BASEMENT OPENING PROTECTION TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION R339.1. PROVIDE 3/2 HOUR FRE RATED DOOR WITH STEEL FRAME AND SELF CLOSING DEVICE CATHEDRAL CREINGS: 1. EXEMPLE WOOD STUD WALLS: 2. 2045 R19 WHY 2 ME POLY VAPOR 2. 2045 R19 WHIT 2 ME POLY VAPOR 2. 2045 R19 WHIT 2 ME POLY VAPOR 3. 2045 R19 WHALLS: 4. 2045 R19 WHALLS: 5. 2045 R19 WHALLS: 5 CONCEALED HORIZONTAL & VERTICAL SPACES SUCH AS SOFITS AT RITERVALS NOT TO EXCEED IOC! SELOW STARES BETWEEN STRINGERS AND AT TOP AND BOTTOM OF BRILL OPENINGS AROUND VENTS, FPES AND OPENINGS AROUND VENTS, FPES AND (1) LAYER OF %" TYPE X GYPSUM BOARD ON GARAGE SIDE OF GARAGE/HOUSE COMMON WALLS. CONCEALED SPACES OF STUD WALLS AND FURRED SPACES AT CELLING AND FLOOR LEVELS AT INTERVALS FIOT TO EXCEED (I) LAYER OF 1/2" TYPE X GYPSUM BOARD ON HOUSE SIDE OF GARAGE/HOUSE (I) LAYER OF ¾" TYPE X GYPSUM BOARD ON GARAGE CEKING. TYPICAL RISER COUNT AND HEIGHT IMUM OF 2'-O' PAST SUPPORTING 15 @ 7.91"EACH (118%) 15 @ 7.73" EACH (1167) 14 @ 7.64" EACH (1077) 15 @ 7.87" EACH (118) | 14 @ 7.79" EACH (109) | 15 @ 8.07" EACH (121") TYPICAL CEILING HEIGHTS 9-0" BASEMENT 8-1" ISI/2ND FLOORS 9-1" ISI/2ND FLOORS 10"-1" ISI/2ND FLOORS 14 @ 7.83"EACH (109%) FLOOR NOTES OCONTREMINK, MENDERS OR (2) OR MORE INVALIDAMENTONAL LIMINER MENDERS ON (2) OR MORE INVALIDAMENTONAL LIMINER MENDERS AND STEE, PLATES) FOR MENDERS OF MEND 9.) METHOD: ADDRESS SEPRORE BE HE HE FOLLOWING ADDRESS SEPRORES BE SEPRORES BE HE HE FOLLOWING ADDRESS SEPRORES BE SEPRORES B ī. 4 0.2 RIM BOARD PER FLOOR JOIST SYSTEM USED, START FRIST JOIST 16" FROM BIM BOARD ON ALL SIDE OF HOUSE UN O. MODULUS OF BLASTICITY FOR LAMMATED VEHICER LUMBER (LIVL) IS 1.941,000,000 OR 1.96 LIVLO. 10.2.1. 5 FLOOR JOIST SHEATHING TO SPAN FIREPLACE DOUBLER AND TO BE PARAILLEL WITH CANTILEVERED JOISTS. PROVIDE SLEEPERS GENVEEN JOISTS PARAILLE, TO FOUNDATION WALL. "Y"TONGUE & GROOVE OSS OVER CONVENIONAL FLOOR LOSTS, PRODUCTTO BE STRUCTURE COLD FROM HEVEL OR YOPHOTCH HIGH PERFORMANCE FROM L.P. BASEMENT LANDINGS ONLY TO HAVE "Y" PLYWOOD FLORENG. MODULUS OF ELASTICATY FOR LAMINATED STRAND LUMBER (LSL) IS 1.55x1,000,000 OR 1.55e CANTEMENTS OF CONSOLR CONTROL HING AT I'C OF FOUNDATION HING AT I'C OF FOUNDATION WALL TO TOP OF BASKERT RECOR FLOORS OVER HOCKONTHOWED BLE BEDROOMS OVER CARAGE OR CUTENDE (CANTEMERED) SPACES. TOP LOADED MEMBERS (MEMBERS BEARING OVER BEAM): %"Øx26" LAG SCREWS STAGGEPED TOP AND BOTTOM 16" O.C. AND NARRANC USE 5'0 BOLTS 24" O.C. STAGGERED TOP AND BOTTOM AND PLACED A USE 15'0 BOLTS, 12" O.C. STAGGERED TOP AND BOTTOM AND PLACED A MINIMUM OF 2" FROM 1611) HOVE, S6'2 @ 51 16 @ 7.60" EACH (121%") 17 @ 7.86" EACH (133%) 17 @ 7.82" EACH [133] 17 @ 7.71" EACH [131") 2. MODELAN LINEAR OF A STUDY, INFO.C. LIND. 2. ATTENTION WALL DE AND STOCK LIND. 4. OVERIODE WALL READ STOCK LIND. 5. EPPEZABET LINN. EXAMINIST OF A CHECK 5. EPPEZABET LINN. EXAMINIST OF A CHECK 6. ALL HEDOER HOT MARKED SHALLE ET 22 de 6. ALL HEDOER HOT MARKED SHALLE ET 22 de 6. ALL HEDOER HOT MARKED SHALLE ET 22 de 6. ALL HEDOER HOT MARKED SHALLE ET 22 de 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7. ALL HEDOER HOT MARKED SHALLE ET 22 dE 7 SHEATHING AT ROOF TO BE 1/3," OS9 ROOF UNDERLAYMENT TO BE 15# FEIT PAPER SNGLE LAYER OF ICE AND WATER SHEED ROOF NOTES WALL NOTES ជ 2 II. RAISE ALL 240 ENCOR AND ENCICIBLUO BEANSKY AND ENCICED EN BEAUTH OF ELECATION OF THE PART OF ENGLISHING CELING. 2. ALL CONCERTANTED LOADS SHALL BE TRANSFERRED TO THE FOUNDATION WALLS OR FIRES VIA BEANS, POSTS, AND/OR SOLID BLOCKYS. 3. ALLOWARDS IN FOOD JOSTS. KATERS AND SEAMS AFFER THE RESIDENTIAL CODE OF HEM YORK SATE. SECTION RESIDENTIAL AND THE TOPH OF THE AND AND THE A 13.3 DOUBLE 2X PLATE AT TOP OF WALL LEAVE SUBFLOOR LOOSE ON PLANT LEDGES THAT ARE LOCATED OVER OUTSIDE AIR. 1.0, O. ra car Ֆ Ç 7.O.C. T.O.W. 820 TOP OF CONCRETE 당 오 MARRANO/MARC EQUITY CORPORATION ORIENTED STRAND BOARD LAMINATED VENEER LUMBER TONGUE AND GROOVE TOP OF WALL ON CENTER UNLESS NOTED OTHERWISE AMINATED STRAND LUMBER SYMBOLS AND ABBREVIATIONS 6. 5.2. 22 OVER 2001 LINUMER 3. DEFENDANCE LINUMER 3. DEFENDANCE LINUMER 3. DEFENDANCE LINUMER 3. DEFENDANCE CONTROL DE ESPECICO 1. UP TO 2001 LONG TO BE COUGLAS FIR. 4. ZERO HOLIMAN LINUMER 4. ZERO HOLIMAN LINUMER 4. ZERO HOLIMAN LINUMER 5. ZERO HOLIMAN LINUMER 6. ZER 7 į, F 5 % ® TUB DECK NOTES (IF PURCHASED) LUMBER SPECIES & TRIM DOUGLAS FIR. OVER 200" LONG TO BE DOUGLAS FIR. ALL WOOD TRAIL ST ODE WRODGE ONE BRAND, UNIO, A RESTALED ACCORDING TO MANUFACIDERS ESCOMMENDATION, ALL POT TRAIT RIM TO BE ACE BRAND, UNIO, & HISTALED ACCORDING TO MANUFACTURES ERECOMMENDATIONS, ALL POT BRATEN TO BE TEXTURED. BETOMMENDATIONS, ALL POS TO BE TEXTURED. ALL LUMBER TO BE A MINIMUM OF #2 GRADE. 2x6 NOMENAL LUMBER: UP TO 20:0" LONG TO BE SPRUCE OF SQUARE EDGE AT FRONT EDGE OF DECK U.H.O. TOP OF DECK TO BE 22" OFF OF SUBFLOOR U.N.O. 204 CLEAT AT PERIMETER TO SUPPORT DECK CERAMIC TILE AT PLATFORM FACE AND TOP OF DECK TOPS OF THE TOP MARMON ANGLE FROM HORIZONTAL PLANE FOR ALL BRACING IS 45°. DIMENSIONS FOR RAFTER SPANS ARE SHOWN AS THE UNSUPPORTED HORIZONTAL RUN, U.N.O. DECK U.N.O. THE UP WALL TO VANITY BACKSPLASH HEIGHT U.N.O. (2) LAYERS OF X" T&G PLYWOOD, STAGGER SEAMS. 2x4 COLLAR THIS 48" O.C. VISE 2X10 AT ALL THIS UNIO. PURENS ARE LOCATED DIRECTLY BELOW THE RAFTERS AND ASE TYPICALLY BRACED TO BEARING WALLS OR BEAMS WITH 2x4'S 48" O.C. INSTALLED AT EDGE OF EAVE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING PROBLET, I] DOUBLE LAYER OF UNDIFILATIMENT REQUIRED ON ROOF SLOPES OF 412 & UNDER. ARE MUTAN WAS COMMENTED. ALL ROOF OVERHANGS ARE 11-0", MEASURED ROOM FACE OF EXTERIOR SHEATHWIG, BRICK, PHALT SHINGLES AS SELECTED. NTLATED VINYL SOFFIT AT ALL HORIZONTAL ❸ **(B)** SMOKE/CARBON MONOXIDE DETECTOR SMOKE DETECTOR 1ST FLOOR GROSS: S.F. 2ND FLOOR GROSS: S.F. CLERESTORY SPACE: S.F. GARAGE: S.F. PORCH(ES): S.F. BASEMENT SLAB: S.F. GARAGE SLAB: S.F. LICENSED ENGINEER: RICHARD 1 SKOP 3160 RT. 594 P.O. BOX 151 BURALO, Mr. 1786 PHONE 470 A7245999 FAX (716) 763-6854 SALES: DRAFTING: ESTIMATING: COORDINATION: PRODUCTION: MODEL: ELEVATION: HAND OF HOUSE: CONTRACT DATE: JOB CODE: CENTRAL SQUARE VILLAS THE LIVINGSTON LANCASTER SUBLOT

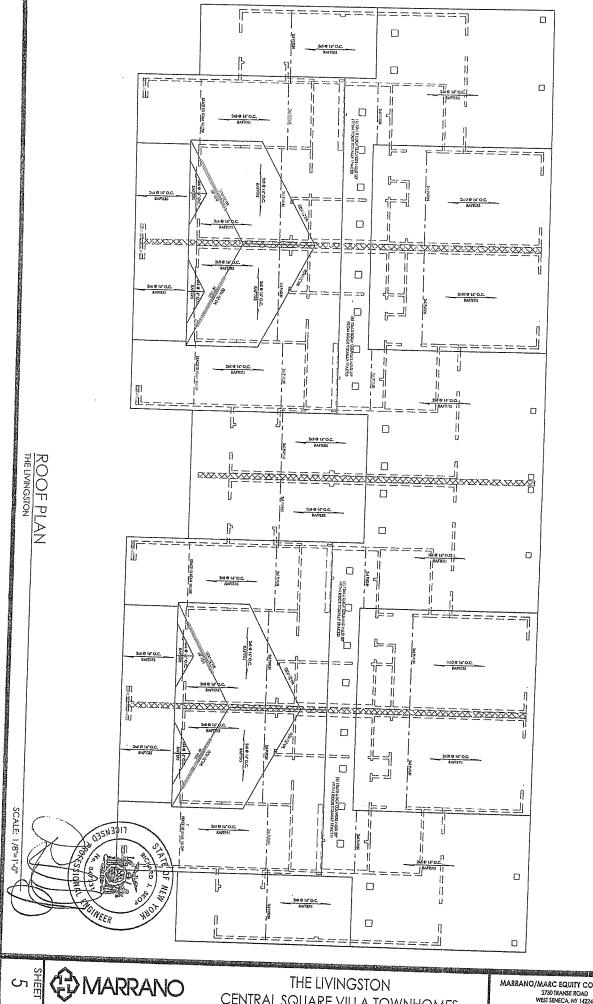
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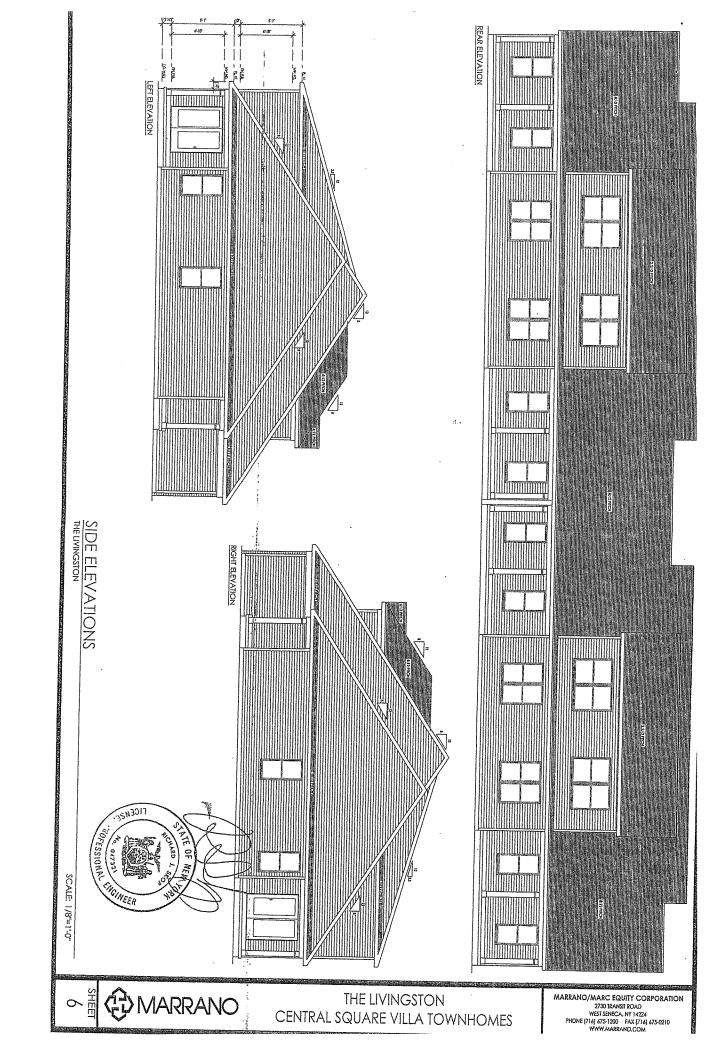


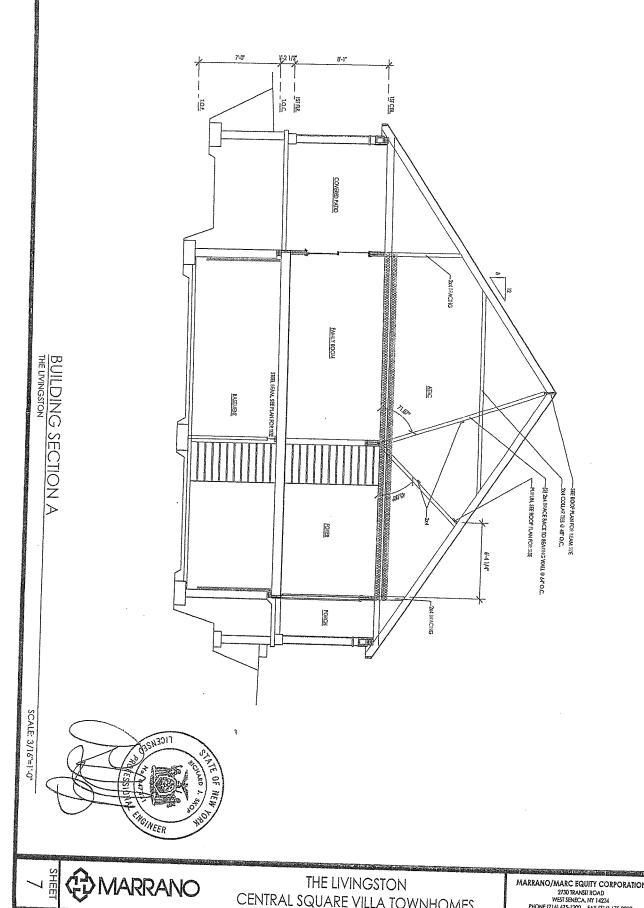


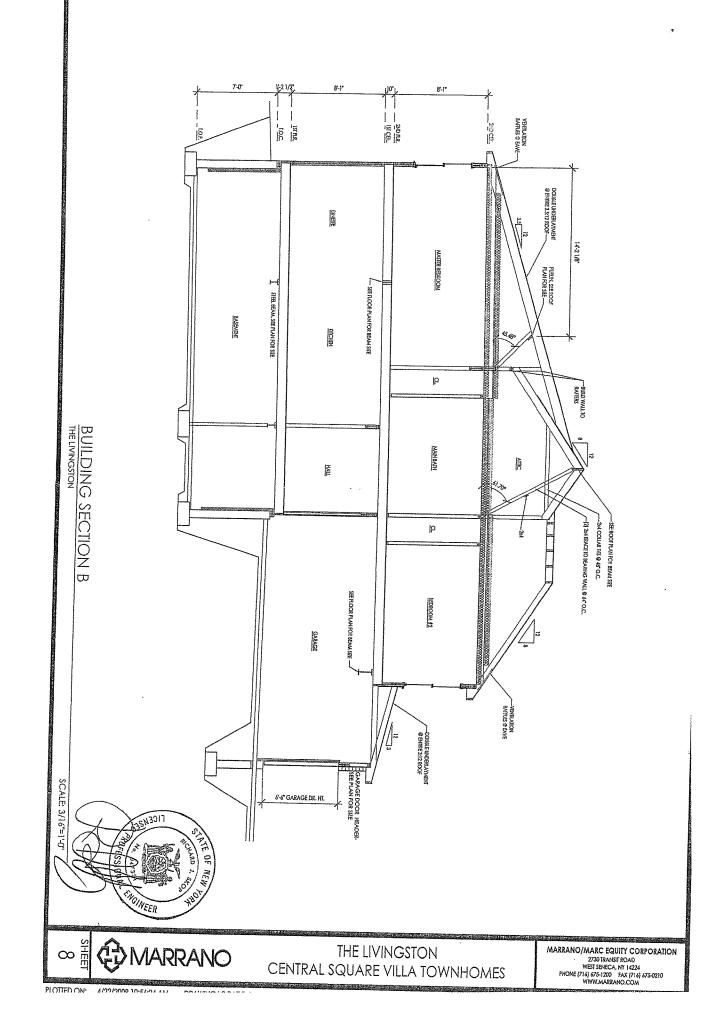


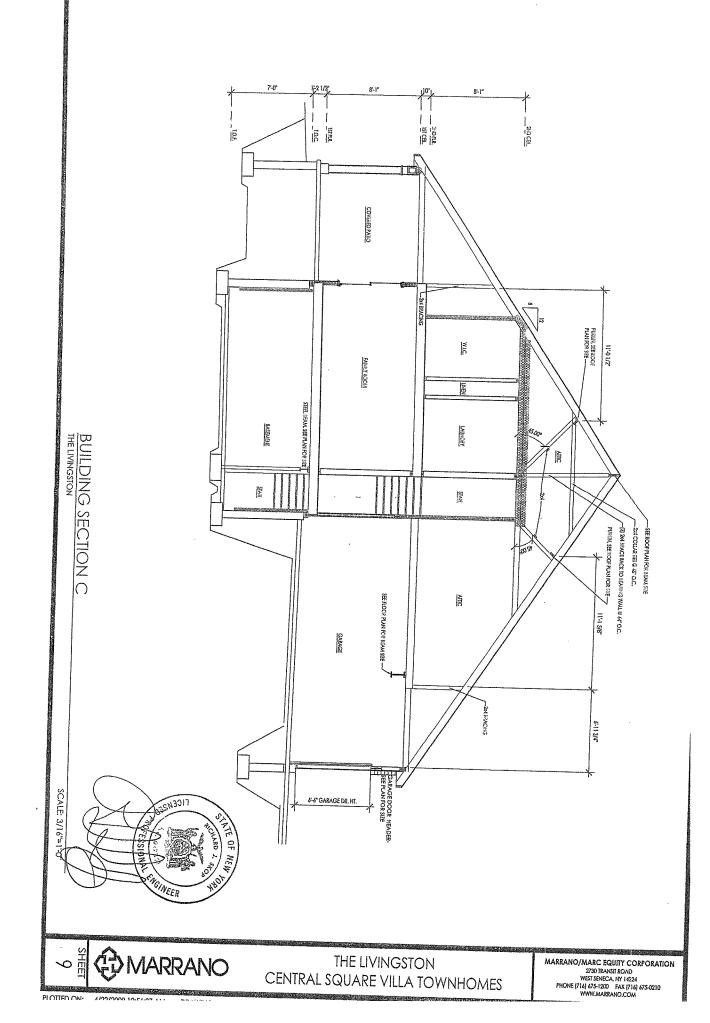


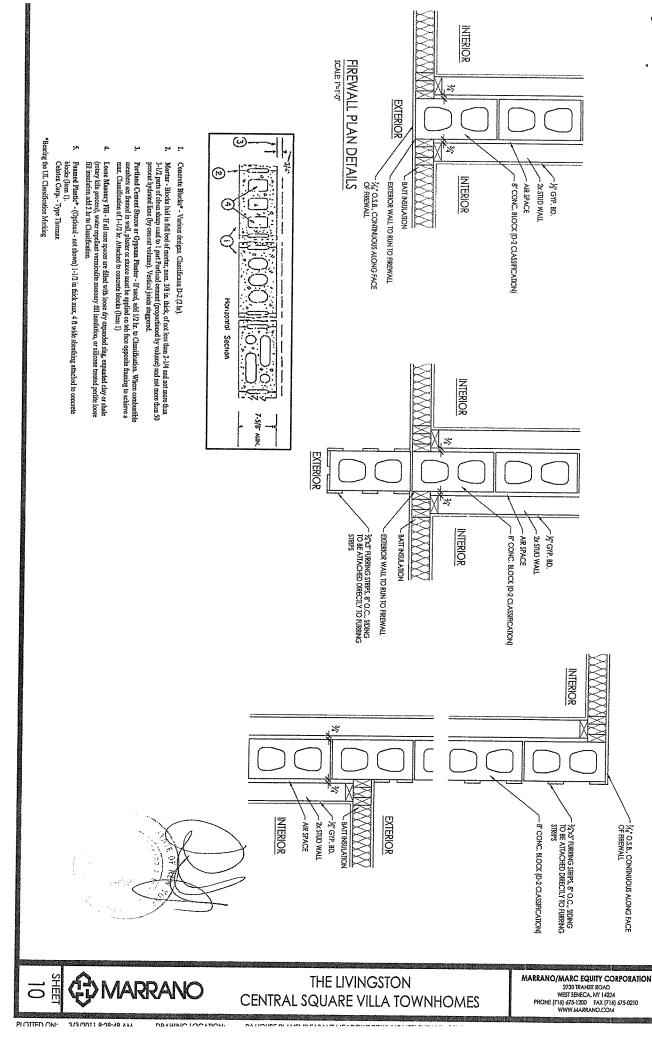


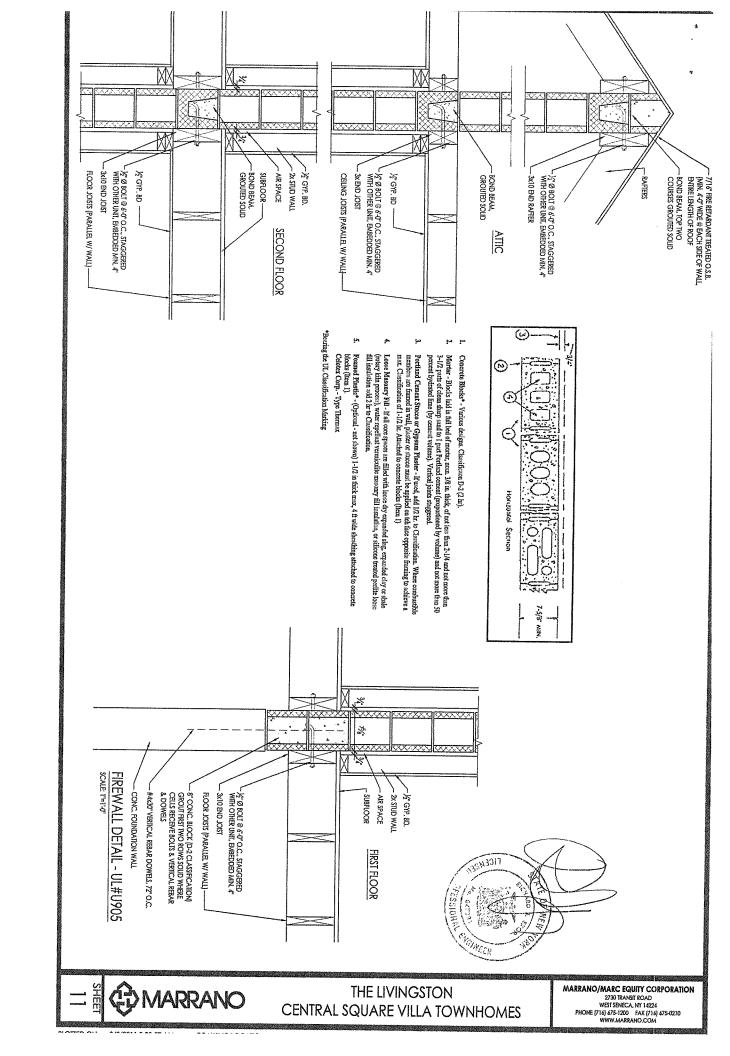








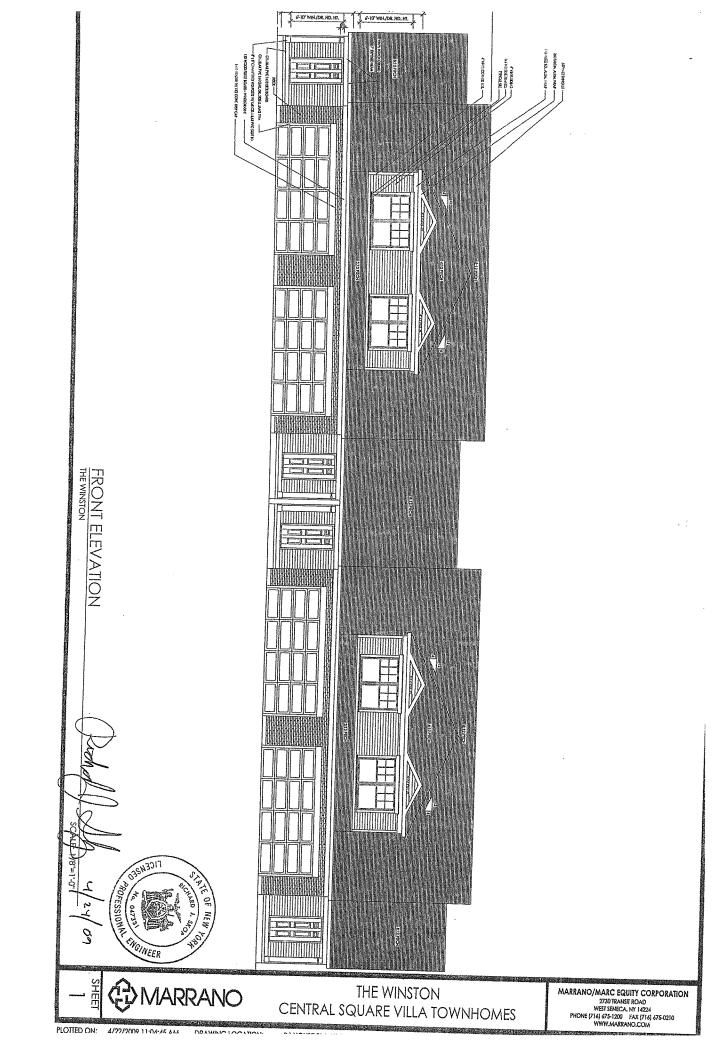


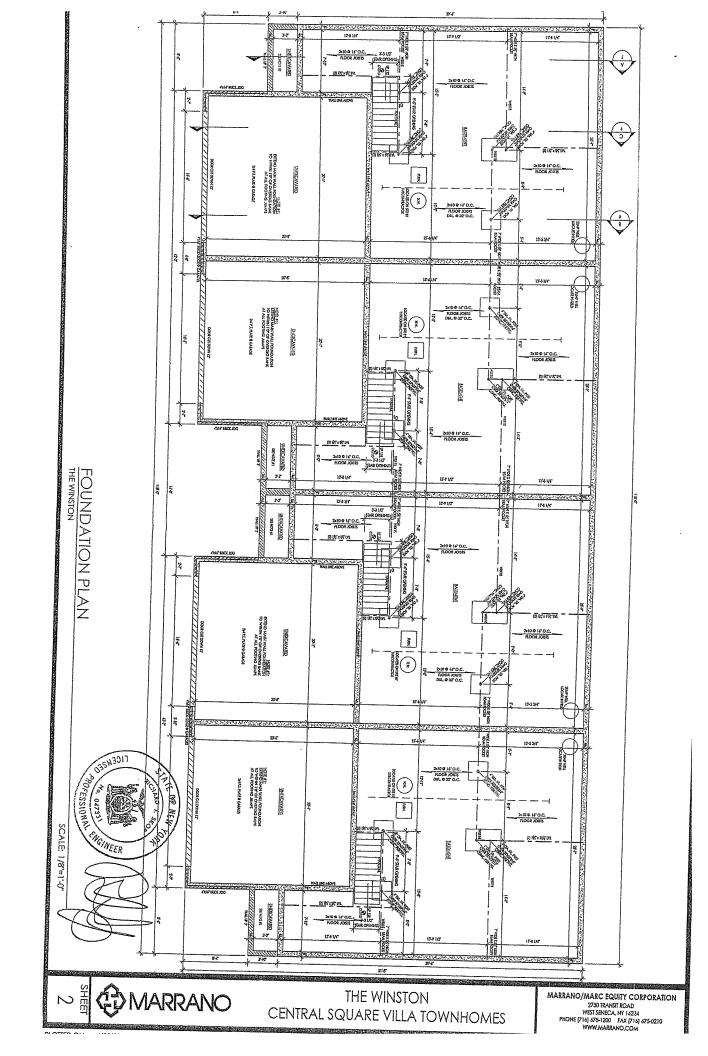


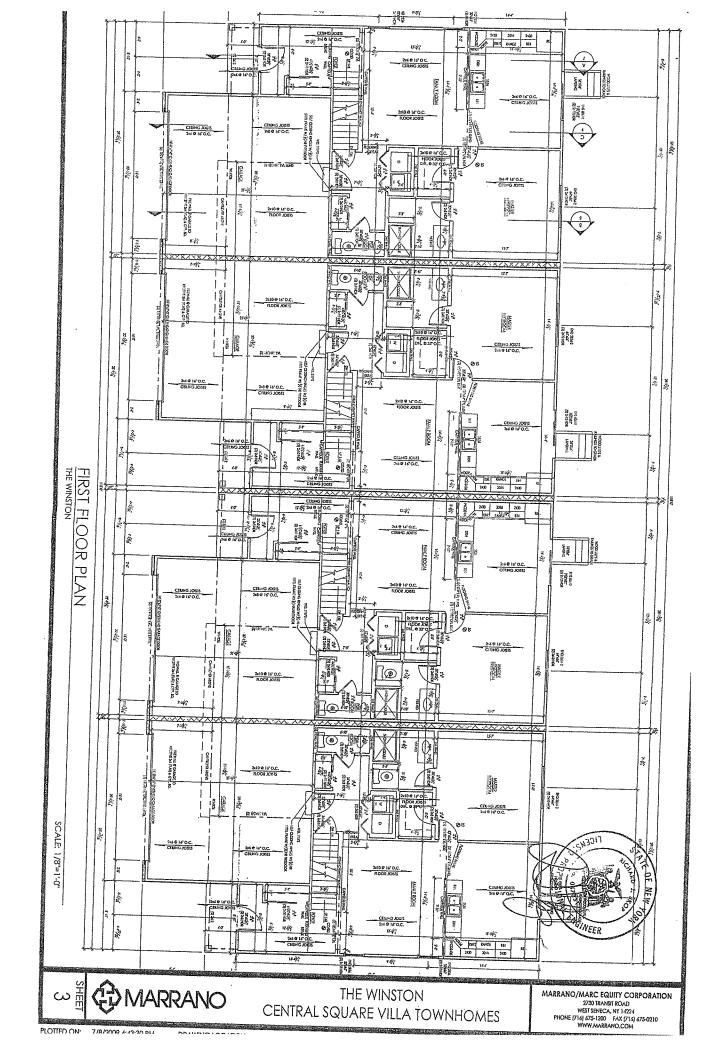
MARRANO/MARC EQUITY CORPORATION

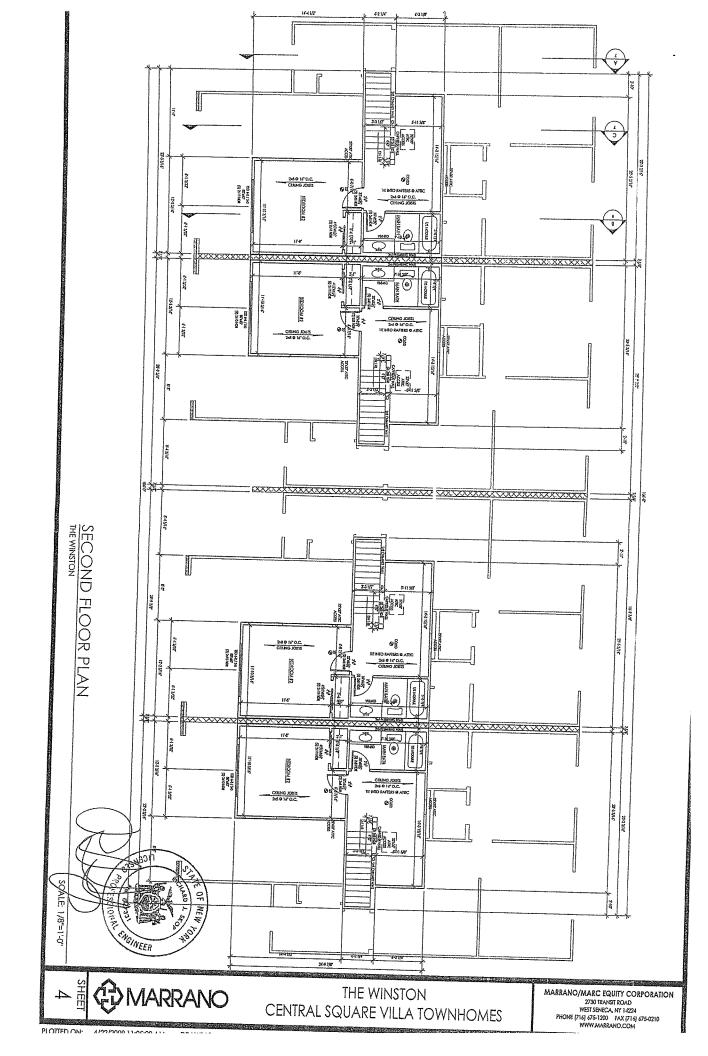
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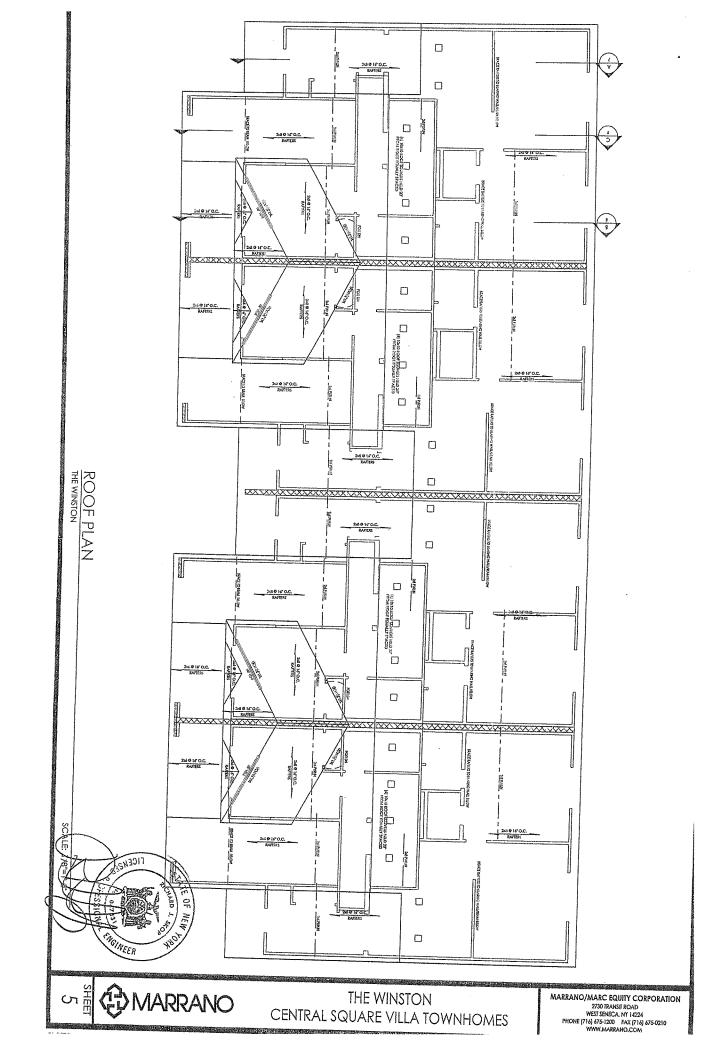
TOP OF BASEMENT SLAB IS I' ABOVE TOP OF FOOTHIG X" TEG OSB DECKING OVER 14" TJI % TAG OSE DECKING OVER 11% TJI 13 @ 7.65" EACH (99/2) 光 TAG OSB DECKING OVER 2×10 FLOOR SYSTEM BASEMENT SLABS ARE 3½" THICK, RISERS WILL NEED TO BE RECALCUATED FOR DIFFERENT FLOOR SLAB THICKNESSES 2730 TRANSIT ROAD WEST SENECA, NY 14224 PHONE (716) 475-1200 FAX (716) 675-0210 WWW.MARRANO.COM 4.1. RODE 4.1. RODE STOW LOAD: 57 PS 4.2. SECONDLEVEL 4.2. SECONDLEVEL 4.2. SECONDLEVEL 5.2. DEAD CAD: 10 PS 4.3. INFELIANCE 4.3. INFELIANCE 5. CONTRACTION TO SOLUCIV M.I. APPLICABLE CODES OF HERE TRADE STOVIN N.I.E RESIDENTIAL CODE AND DIESFOY CODE OF NEW YORK TATE 7. CONTRACTION CODE OF NEW TO BE USED IN BLIAN AND CONVENTIONAL ILLUSIES HEADES TO BE FOR ESCAPENIAL CODE OF YIS. ASSENTIONS 10. ALL BECTRICAL WORK TO BE REPSCIED BY 10. ALL BECTRICAL ONLY. 11. ALL BECTRICAL ONLY. 12. ALL BECTRICAL ONLY. 13. ALL CONVENTIONAL ILLUSES HEADES TO BE 14. ALL BECTRICAL ONLY. 15. ALL BECTRICAL ONLY. 16. ALL BECTRICAL ONLY. 17. ALL BECTRICAL ONLY. 18. ALL BECTRICAL ONLY. 19. SILL PLATES REQUIRED AT TOP OF CONCRETE WALL ERS IN PARENTHESS ABOVE REPRESENT THE OVERALL HEIGHT (CONCRETE TO OSB/OSB TO OSB), NOTE THAT IF HARDWOOD FLOOR OR CERANIC IS PLICHASED, APPROPRIATE ADDITIONS MUST BE LAND THE RISER HEIGHTS RECALCULATED FIRE SEPARATION BICOLONGER, BICOLONGER, DENVINGS, UILLER HE DIMERSIONS OFF OF THE DENVINGS, UILLER HE DIMERSIONS GIVEN MAKE WILL ASSUME TO DENVIS SEELT FROM MERODES MADE FROM ASSUMED DIMERSIONS. HE PLANS MED TO RECEED HE CUREBOTH NEW YORK STATE BERSOY CODE AND RESIDENTIAL WILLIAM TO THE MET AND MED THE MET AND MET GENERAL NOTES CORPORATION HAMEL INNUTHIORIED USE OR REPODUCTION OF PLANS AND SPECIAL ONLY WITHOUT WRITTEN CONSER OF REPOWNERS. AND RESERVES WE REGIT IN ACCOPY PLANS AS OFFICIAL ONLY PLANS AS FOUND INCESSARY TO CONSTOLAT ON THE RANDON FROM TO CONSTRUCTION, INCORRECT CRESSARY TO CONSTRUCTION, INCORRECT CRESSARY TO CONSTRUCTION, INCORRECT CRESSARY ONLY ON ANY CONTRACTION BUT AND AND ANY CONTRACTION BUT AND ANY CONTRACTION WITH SERVICE AND AND AND ANY CONTRACTION WAS ASSOCIATED TO CONSTRUCTION, INCORPORATION OF A CONTRACT ON ANY CONTRACT FIRE SEPARATION IN HOMES WITH ATTACHED GARAGES TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION R309, SPECIFICALLY R309,2.1 & R309,2.2. PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY 13 # 7.88" EACH (1024") 13 8 7.70" EACH (100%) 13 @ 7.50" EACH (97/6") 7'-0" BASEMENT 23 14 @ 7.77 EACH (108X7 | 15 @ 8.05 EACH (120X7) | 14 @ 7.98" EACH (111X1) 14 @ 7.57" EACH (106") 14 @ 7.62" EACH (106%") 13.12.13.1 INSULATION NOTES 13 @ 8.00" EACH (104") I. BETTER HOME TO BE INSTINUED TO A AVENIMAN OF THE FOLICIONED CONTROL I.I. DATAMON CO COLDENCES. II.I. DATAMON CO COLDENCES. II.I. DATAMON CO COLDENCES. II.I. CHANGE TO COLDENCES. III.I. CHANGE TO COLDENCES. III. CHANGE TO COLDENCES. II 8'-0" BASEMENT Ü ñ Ξ Ξ. TO RESST HE PASSAGE OF FLAME AND OTHER PRODUCTS OF COMMISSION AND TO FORM AN EFFECTIVE FIRE BARRER BETWEST STORES AND EDWEST HE TOP STORY ALD THE ROOPS SPACE, PRE BLOCKHAS WILL BE PROVIDED AT THE CILOWAYS I COLONIOUS. PROVIDE FIRE BLOCKING ABOVE STEEL BEAM FOR ANY HABITABLE SPACE AT FROM END OF FLOOR JOSTS, TO RESIST THE PASSAGE OF FLAME AND OTHER OPENING PROTECTION TO CONFORM TO THE RECIDENTAL CODE OF NEW YORK STATE. SECTION 8391. PROVIDER HOUR FREE RATED DOOR WITH STEEL FRAME AND SELF CLOSING DEVICE. IO-OT: CONCEALED HORZONIAL & PERICAL SPACES SUCH AS SOFIES AT INTERVALS NOT TO EXCEED 10-OT: BELOW TAPES BETWEEN STRANGES, AND AT TOP AND BOTTOM OF RINL OPERANGS APOUND YENG, PEES AND DOLORS. (1) LAYER OF & TYPE X GYPSUM BOARD ON HOUSE SIDE OF GARAGE/HOUSE CONCEALED SPACES OF STUD WALLS AND FURRED SPACES AT CEKING AND FLOOR LEVELS AT HUTERVALS NOT TO EXCEED (1) LAYER OF 1/2" TYPE X GYPSUM BOARD ON GARAGE SIDE OF GARAGE/HOUSE COMMON WALLS. (I) LAYER OF 1/6" TYPE X GYPSUM BOARD ON GARAGE CELLIG. TYPICAL RISER COUNT AND HEIGHT WUM OF 2'-O' PAST SUPPORTING 15 章 7.91" EACH (118%) 15 @ 7.73" EACH (116") | 14 @ 7.64" EACH (107") | 15 @ 7.93" EACH (119") 15 @ 7.87" EACH (1187) PYPICAL CEILING HEIGHTS 9-0" BASEMENT 8-1" 157/2ND FLOORS 9-1" 157/2ND FLOORS 107-1" 157/2ND FLOORS 14 @ 7,79" EACH (109") 14 S 7.83" EACH (107%) ö FLOOR NOTES 9.1. Waddig Log Screen's INGOERED TOP AND BOTTOM, IF OLC. AND OCHOTERULM, IS OR MODE FULLA INFOLMERS OR (2) OR MODE IVALAUTAM-BISTOMAL LIMIES NAMERS AND STELE_PULTES FOR THE PURPOSE OF THE OLLINA, HENAM SHALL BE MATERIA TO GERHER IN HET PULTOMING ANAMERS OLL SOE LOADED MARKETS (MANIESE HANG OAS DEC, PERAM): ATTOWART & CONTROL PORTOR OF CONTROL OF CONT 0.2 ADVOCE SUPPORT BLOCK SC SERVERS LOSS. PARTINOS PARALLEL TO HE SPAN OF THE LOSS. PARTINOS PARALLEL TO HE SPAN OF THE LOSS. ENTRE LA LA STAN OF THE LOSS. AND LOS BANK CHIEFLY THE LOS BANK CHIEFLY THE LOSS. AND LOS BANK CHIEFLY THE LOS BANK CHIEFLY THE LOSS. AND LOS BANK CHIEFLY THE LOS BANK CHIEFLY THE LOSS. AND LOS BANK CHIEFLY THE LOS BANK C ī. 5. 10.21. 10.1.1. 5 U.T.O. MODULUS OF ELASTICITY FOR LAMINATED STRAND LUMBER (LSL) IS 1.55x1,000,000 OR 1.55x RIM BOARD PER FLOOR JOIST SYSTEM USED. START FAST JOIST 16 "ROOM RIM BOARD ON ALL SIDE OF HOUSE UND. MODULUS OF ELASTICHY FOR LAMINATED VENEER LUMBER (LVI) IS 1.5A1,000,000 OK 1.96 ... FOUNDATION WALLS. R19 FIRE RESISTANT INSTALLTON, HAVG AT TOP OF FOUNDATION WALL TO TOP OF BASINGHT ROORS FLOORS OVER WACKCOMMONDED IF. BERPOOMS OVER GARAGEJ OF OUTSIDE (CANTELYREED) SPACES. ANY EDGE. TOP LOADED MEMBERS (MEMBERS BEARING OVER BEAM): NARRANO USE 1/20 BOLTS 24" O.C. STAGGERED TOP AND BOTTOM AND PLACED A USE 1/20 BOLTS, 12" O.C. STAGGERED TOP AND BOTTOM AND PLACED A MINIMUM OF 2" FROM 16 \$ 7.73" EACH (123%) 16 @ 7.60" EACH (121%7) 15 @ 8.07" EACH (121") 17 @ 7.99"EACH (135%") 17 @ 7.86" EACH (133%) 17 @ 7.82" EACH [133"] 17 @ 7.71" EACH (1317) 1. SHEATHING AT ROOF TO BE Y₄" OSB 2. ROOF UNDERLAYMENT TO BE 15# FELT PAPER 3. SINGLE LAYER OF ICE AND WATER SHIELD ROOF NOTES ផ្លួ ĕ ដ ĺ ≓ WALL NOTES DOUBLE 2A PLATE AT TOP OF WALL AT STOTPOMM WALL BOOKE AT STOTPOMM WALL BOOKE AT STOTPOMM WALL BOOKE A BROOKE BOOKE A BROOKE BOOKE A BROOKE BOOKE B HOUSE AND THE AND CORE OUD BUCCHING. ALLOWABLE NOTIONS AND FOR ESCIOSTA, ALLOWABLE NOTIONS AS EVER THE RESIDENTIAL CODE OF NEW YORK SAFE SCION SET 13. AWAY KLAWES AS OLIVION'S 14. AWAY KLAWES AS OLIVION'S 15. AWAY KLAWES AS OLIVION'S 16. AWAY KLAWES AS OLIVION'S 17. AWAY KLAWES AS OLIVION'S 18. AWAY COLIVION'S AND COLIVION'S 18. AWAY COLIVON'S AND COLIVION'S 18. AWAY COLIVON'S AND COLIVON'S 18. AWAY COLIVON'S 18. AWAY COLIVON'S AND COLIVON'S 18. AWAY COLIVON'S 18. AWAY COLIVON'S 18. AWAY COLIV II. RAVER ALL ZWOR DOOR AND RAVEH BLOD BEAMEN, ABOVET OF PLATE TO BYSINE A LEVEL CENTRO. 2. ALL CONCEMENTED LOADS SHALL BE PERS VAL BEAMS, POSTS, AND/OR SOLID BLOCKING. 3.4. 33 13.2 NER, U.N.O. LEAVE SUBFLOOR LOOSE ON PLANT LEDGES THAT ARE LOCATED OVER OUTSIDE AR, THE TENSION SIDE OF MEMBERS 4" OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. LT. 1.0°C 1.0. 0.C. U.N.O. .w.o. 둳 S₃ MARRANO/MARC EQUITY CORPORATION ORIENTED STRAND BOARD TONGUE AND GROOVE FLATE CENTER LINE TOP OF CONCRETE 호 오 UNLESS NOTED OTHERWISE LAMINATED STRAND LUMBER LAMINATED VENIER LUMBER TOP OF WALL ON CENTER SYMBOLS AND ABBREVIATIONS 32 OVER 20 OVER 10 SEDOUGLAS FR. 4. 2010 KOMMAL LIMERS. 4.1. UP TO 20 OVER 10 SE FEMARE. 4.1. UP TO 20 OVER 20 1. ALLUM/SER DO BE ANDAMINO OF R2 GRADE 2. SAN SOMMAL UNABBE. 2. IN PT D2 OF LONG TO BE SPRUCE OF 1. HEAPP. 2. DO'RE 20 OF LONG TO BE DOUGLAST IR. 3. ZER SOMMAL UNBER. 3. IN PT D2 OF LONG TO BE SPRUCE OR 1. HEAPP. 4. LENGTH OF THE STRUCE OR 1. HEAPP. 4. LENGTH OF THE STRUCE OR 1. HEAPP. 4. LENGTH OF THE STRUCE OR 1. ? TUB DECK NOTES (IF PURCHASED) Ñ **=** LUMBER SPECIES & TRIM SQUARE BOOR A! FROM BOOR OF DICK LINO. TOP OF FICK TO BE 227 OFF OF MIRHOOR 2M CLEM A! FERMETER TO SUPPORT BECK CERNAND TIE A! FUNTENMER AC SUPPORT DECK DECK LINO. THE UP WALL TO VANITY BACKSPLASH HEIGHT UNIO. WISHLED AT BOSE OF EAVE TO A POINT AT LEAT AT PRINCE THE GREENOW WALL UNE OF THE BUILDING (PROLEZ).) DOUBLETAYER OF UNDOESE AVAISHIT REQUIRED ON BOOK SLOPES OF 4172 & UNDER, ASPIKALT SHANCES AS SEECTED. LEAGUALTED WHYEL SOFTER A KALL HORSZONTAL EAVER TAKED. (2) LAYERS OF 3/" T&G PLYWOOD, STAGGER DIMENSIONS FOR RAFTER SPANS ARE SHOWN AS THE UNSUPPORTED HORZONTAL RUN, U.N.O. PURLINS ARE LOCATED DIRECTLY BELOW THE RAFTERS AND ARE TYPICALLY BRACED TO BEARENG WALLS OR BEANS WITH 244'S 48' O.C. U.N.O. MERMUM ANGLE FROM HORIZONTAL PLANE FOR ALL ERACING IS 45°. ROOF OVERHANGS ARE 11-0", MEASURED M FACE OF EXTERIOR SHEATHING, BRICK, 63 **(8)** SMOKE DETECTOR 2ND FLOOR GROSS: S.F. CLERESTORY SPACE S.F. GARAGE: PORCH(ES): BASEMENT SLAB: S.F. BASEMENT SLAB: S.F. ELEVATION: HAND OF HOUSE: CONTRACT DATE: LICENSED ENGINEER: RICHARD J. SKOP 3160 RT. 394 P.O. BOX 151 PHOFALO, NY 14785 PHONE (714) 725-8990 FAX (716) 763-6854 PRODUCTION: ESTIMATING: COORDINATION: DRAFTING: JOB CODE: CENTRAL SQUARE VILLAS 大· 100 3 THE WINSTON LANCASTER **SUBLOT#** W からず META

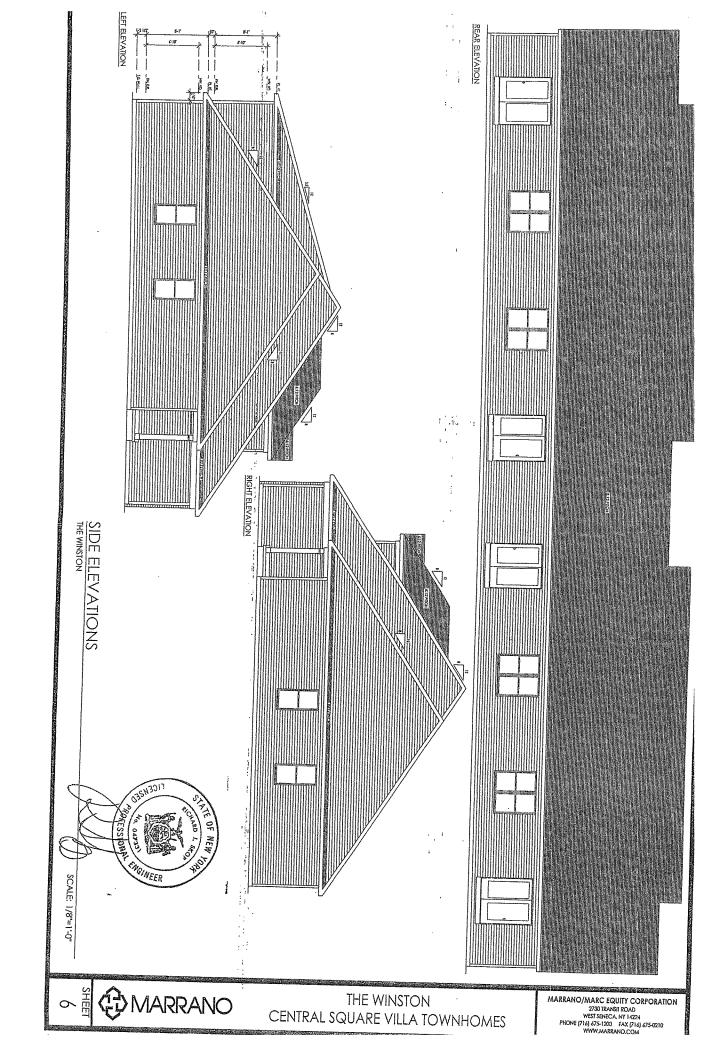


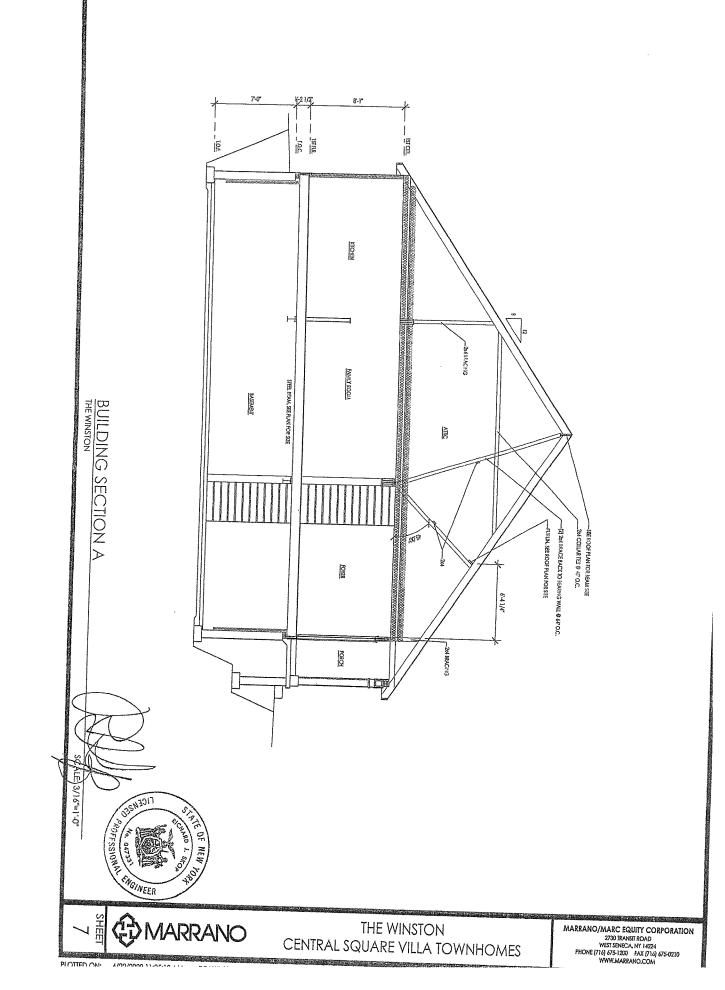


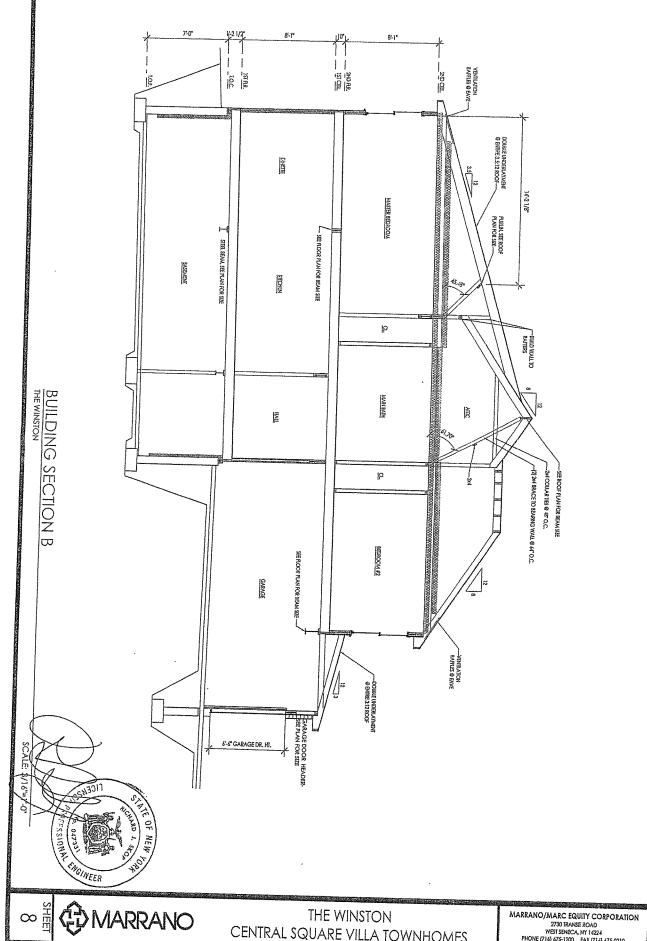


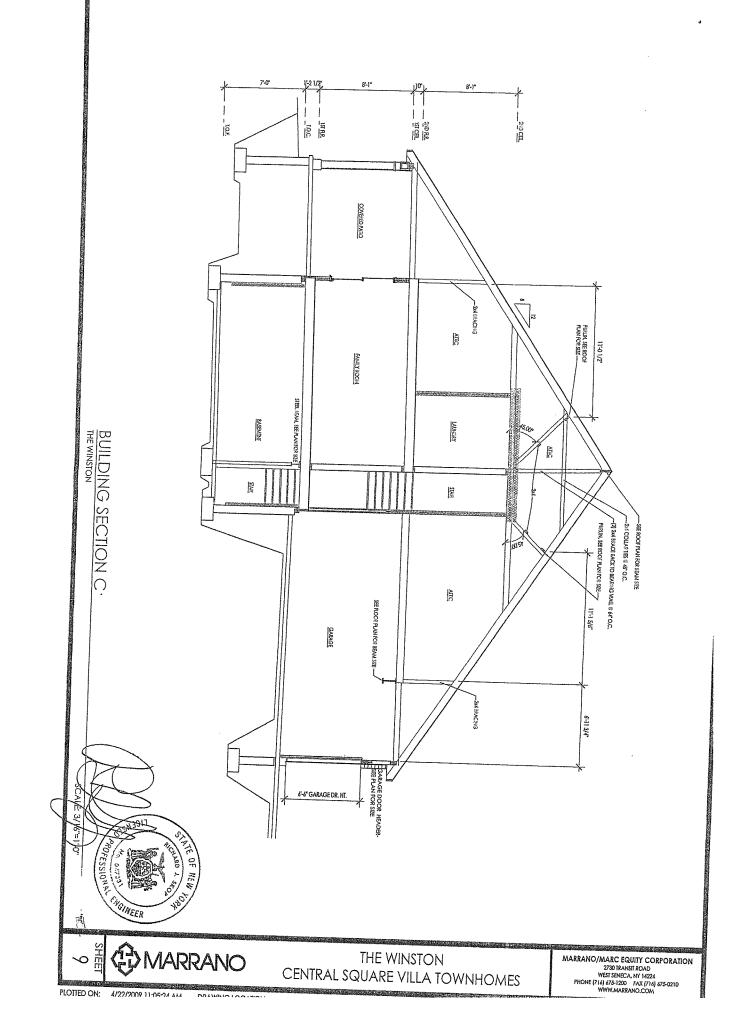


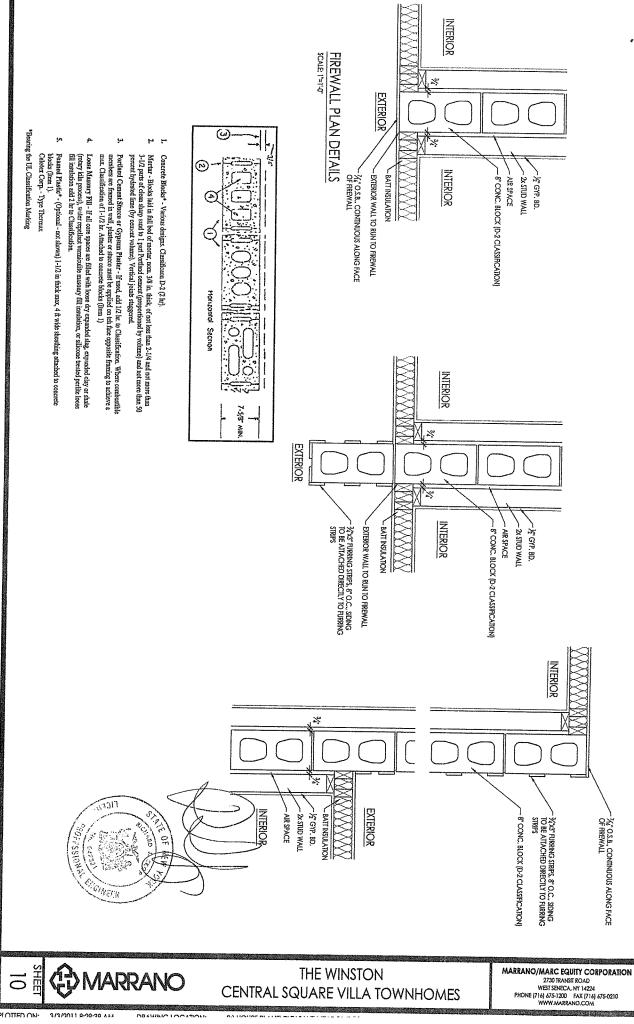


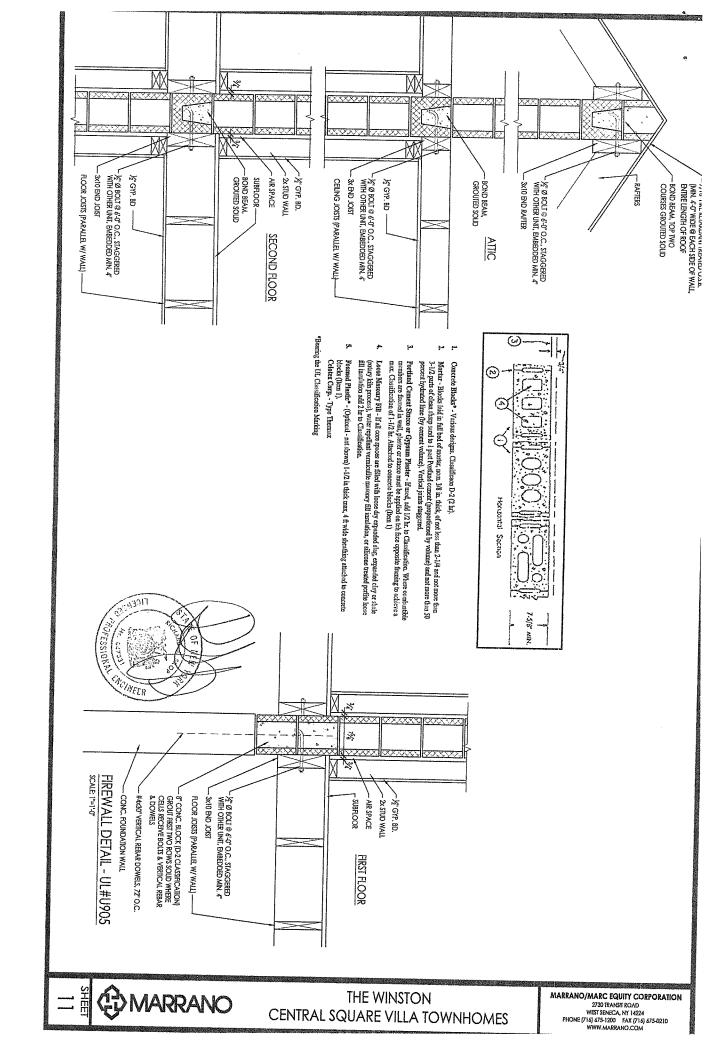












MARRANO/MARC EQUITY CORPORATION



3160 RT. 394 P.O. BOX 151 BUFFALO, NY 14785 PHONE (716) 725-5990 FAX (716) 763-6854

RICHARD J. SKOP

2730 TRANSIT ROAD WEST SENECA, NY 14224 PHONE (716) 675-1200 - FAX (716) 675-0210 WWW.MARRANO.COM GENERAL NOTES

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AS FOUND NECESSARY TO COMPORM TO STATE AND/OR LOCAL CODIES.	MITHOUT WRITTEN CONSENT IS PROTESTED. MING RESERVES THE RIGHT TO MODEY PLANS	COPPORATION (M/ME), UNAUTHORIZED USE OR REPRODUCTION OF PLANS AND SPECIFICATIONS	PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY
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- A.3.1. TEN LEPAC.

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FIRE SEPARATION

FRE SEPARATION IN HOMES WITH ATTACHED GARAGES TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION R309, SPECIFICALLY R309.21 & R339.22.

%"TAG 058 DECKING OVER 14"TJ1 | 13 @ 7.88"EACH (102%)

14 \$ 7.77" EACH (108%) 15 \$ 8.05" EACH (120%) 14 \$ 7.98" EACH (111%) 16 \$ 7.73" EACH (123%)

15 @ 7.91" EACH (118號) | 14 @ 7.83" EACH (109號) | 16 @ 7.63" EACH (121號) | 17 @ 7.85" SACH (133號)

TOP OF BASEMENT SLAB IS 1" ABOVE TOP OF FOOTRIG

BASEMENT SLABS ARE DY" THICK, RISERS WILL HEED TO BE RECALCUATED FOR DIFFERENT FLOOR SLAB THICKNESSES

MERC IN PARKITHERS ABOVE REPRISENT THE OVERALL HEIGHT (CONCRETE TO OSE/OSE TO OSE), NOTE THAT IF HARDWOOD FLOOR OR CERANIC IS PURCHASED, AFPROPRIATE ADDITIONS MUST BE DE AND THE RISEN HEIGHTS RECALCULATED

X" TAG OSB DECKING OVER 11%" TJE 光" IAG OSB DECKING OVER 2×12 "I' I LG OSB DECKING OVER 2x10

13 @ 7.70" EACH (100%)

14 @ 7.62" EACH (106%") 13 @ 8.00" EACH (1047)

13 @ 7.65" EACH (99%) 14 @ 7.57" EACH (1061)

15 @ 7.87" EACH [118]

14 @ 7.79" EACH [109"]

15 @ 8.07" EACH (121") | 17 @ 7.82" EACH (133")

17 @ 7.99" EACH (135%)

<u> ۲</u>

CENTER LINE

TOP OF CONCRETE TOP OF WALL

LAMINATED VENEER LUMBER

ORIGINIED STRAND BOARD LAMINATED STRAND LUMBER TONGUE AND GROOVE

MARRANO/MARC EQUITY CORPORATION

15 @ 7.93" EACH (119")

17 @ 7.71" EACH (131") 10'-1" 157/2ND FLOORS

1.0, W. T. O.W.

TOP OF ON CENTER

₿ (8)

MONOXIDE DETECTOR SMOKE DETECTOR

UNLESS NOTED OTHERWISE

SYMBOLS AND ABBREVIATIONS

13 @ 7.50 EACH (97/5) 7'-O" BASEMENTI 2 3

8'-0" BASEMENT 9'-0" BASEMENT 8'-1" 131/2ND FLOORS 9'-1" 131/2ND FLOORS

15 \$ 7.73" EACH (116") 14 @ 7.64" EACH (107")

TYPICAL RISER COUNT AND HEIGHT

LOOR SYSTEM

10 of the control of (1) LAYER OF Y: TYPE X GYPSUM BOARD ON HOUSE SIDE OF GARAGE/HOUSE COMMON WALLS.

INSULATION NOTES

- I. SPRIES POUR TO SE INSTILLATED TO A JAWAMAM

 OF HET COLONION CONDENSES.

 II. PAYMENT SERVICE AND STREET OF THE TOWN OF THE T 1.1.2
- 13. 12.1 13.1 13.1 CATEGRAL CEURSS:

 EXTENSE WOOD STUD WALLS.

 20. R13 WITH 2 ALL BOX VAPOR

 ARREST ON WARM DOL OF WALL

 20. R13 WITH 2 ML POLY VAPOR

 BARREST ON WARM SOE OF WALL

 1.2 DATE OF WALL

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- (I) LAYER OF %" TYPE X GYPSUM BOARD ON GARAGE SIDE OF GARAGE/HOUSE (1) LAYER OF 1/8" TYPE X GYPSUM BOARD ON GARAGE CELL! IG. <u>.</u>
- PROVIDE FRE ELOCICIO ADDICESTEL BEAM
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- CONCEALED SPACES OF STUD WALLS AND FUPRED SPACES AT CEUNG AND FLOOR LEVELS AT INTERVALS NOT TO EXCEED
- MEMBERS,
 OPENING PROBERTON TO CONFORM TO THE RESIDENTIAL CODE OF NEW YORK STATE, SECTION 839-1.
 FRONDE SHOULD FAIR FAITED DOOR WITH STEEL FRAME AND SELF CLOCKING DEVICE. IMUM OF 2-0" PAST SUPPOPTING
- PATTERS TO CONTROL STATEMENT BLOCKS.

 PARTICULAR STATEMENT BLOCKS.
- WOX25" LAG SCREWS STAGGERED TOP AND BOTTOM 16" O.C. AND
- COUNTESTAND
 COUNTE Ξ ឆ្គស៊
- 10.21. ANY EDGE.
 TOP LOADED MEMBERS (MEMBERS BEARING OVER BEAM): USE \$'00 BOLTS 24" O.C. STAGGERED TOP AND BOTTOM AND PLACED A USE 5'29 BOLTS, 12" O.C.
 STAGGERED FOP AND BOTTOM AND
 PLACED A MINIMUM OF 2" FROM SHEATHING AT ROOF TO BE 7/4" OSB
 ROOF UNDERLAYMENT TO BE 15# FELT PAPER
 SINGLE LAYER OF ICE AND WATER SHELD

FLOOR NOTES į, LANDINGS ONLY TO HAVE % PLYWOOD PLOCENG.
FLOOR JOIST SHEATH-ING TO SPAN FREPLACE DOUBLER AND TO BE PARALLE, WITH CANTILEY PRED JOISTS. PROVIDES LEGERS BETWEEN JOIST PARALLE, TO FOUNDATION WALL. EM BOARD PER FLOOR JOIST SYSTEM USED.
START PEST JOIST IS FROM EM, BOARD ON ALL
SIDE OF HOUSE LIVAO.
ANDOLIUS OF ELASTICAT FOR LAMBACHED
VEHERE LIMBER (LIVI) S 1,941,000,000 OR 1,96
LIVAO. 5. WY TONGUE & GROOVE OSS OVER CONVENTIONAL FLOOR JOSTS, PRODUCT TO RE STRUCTURE GOLD FROM REVEL OR TOPMOTCH HIGH PERFORMANCE FROM LP, BASEMENT MODULUS OF ELASTICITY FOR LAMINATED STRAND LUMBER (ISL) IS 1.55%1,000,000 OR 1.556 U.N.O. FOUNDATION WALLS.

A 19 FREE RESISTANT INSULATION, HANG AT I'DO FE POUNDATION WALL. TO TOP OF BASKERT FLOOR FLOORS OVER HAVOLYDIDNOWD ILE.

REDROOMS OVER GARAGEJ OR OUTSIDE (CANTLEVERED) SYACES.

(CANTLEVERED) SYACES.

WALL NOTES

- 5.2.

20 00 74 0-

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- LEAVE SUBFLOOR LOOSE ON PLANT LEDGES THAT ARE LOCATED OVER OUTSIDE AIR.

- ROOF NOTES
- OOUBLE ZHEATE AT TOP OF WALL.

 YOOFSHIM WILL BOADD.

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 EVERSOR WALLS ARE ZHEATE, AT OLO LIAI.O.

 AT ERFOOR WALLS ARE EX STEELS, AT OLO LIAI.O.

 AT ENERGY WALLS ARE EX STEELS, AT OLO LIAI.O.

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 AND THEADE COMENSIONS FOR EXTERIOR WALLS ARE TO FACE
 OF EXTERIOR SHEATHANG (OR BRICK WHERE

- TUB DECK NOTES (IF PURCHASED) (2) LAYERS OF 3/" TAG PLYWOOD, STAGGER SEAMS.
- SQUARE EDGE AT FRONT EDGE OF DECK U.N.O. 109 OF DECK TO BE 22" OFF OF SUBFLOOK U.N.O. 24 CLEAT AT PERIMETER TO SUPPORT DECK CERAMIC TILE AT PLATFORM FACE AND TOP OF DECK U.N.O.
 THE UP WALL TO VANITY BACKSPLASH HEIGHT U.N.O.

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- 11. PARE ALL 2ND FLOOR ANY EDGE
 BEANSY: ABOVE TOP PULTE TO SENIER A LEVEL
 CERNS:
 12. ALL CONCENTRATED LOADS SMALL BE
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 BLOCKING,
 13. ALLOWABLE NOTCHING HE GOD, JOSTS,
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 CODE OF HER YOUR STAIR SECTION REDZA!
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- NOTCHES SHALL NOT BE LONGER THAN & NOTCHES SHALL NOT BE LONGER THAN & THE DEPTH OF THE MEMBER.
 NOTCHES SHALL NOT BE LOCATED IN THE
- MODIES OF THE SHAN OF THE MEMBER NOTCHES AT THE SHAND OF THE MEMBER SHALL HOT BE EXCEED X THE DEPTH OF THE MEMBERS. THE TENSION SIDE OF MEMBERS of ORBATER IN NOMENAL THEOGRESS SHALL NOT BE NOTCHED EXCEPT AT THE BIOS OF THE MEMBERS.

LUMBER SPECIES & TRIM FOR ALL BRACING IS 45°. DIMENSIONS FOR RAFTER SPANS ARE SHOWN AS THE UNSUPPORTED HORIZONTAL RUN. U.N.O.

- 2. 26 HOMINAL LUMBER:
 UP TO 20-0" LONG TO BE SPRUCE OF
- 22 DERWING TO BE DOUGLAS FR.
 3. 28 POMER 27 TONG TO BE DOUGLAS FR.
 3.1. UP TO 20 TUNG TO BE SPRUCE OR
 4. 24 DOVER 20 TUNG TO BE SOUGLAS FR.
 4. 24 DOVER 20 TUNG TO BE DOUGLAS FR.
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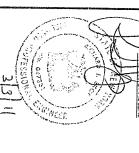
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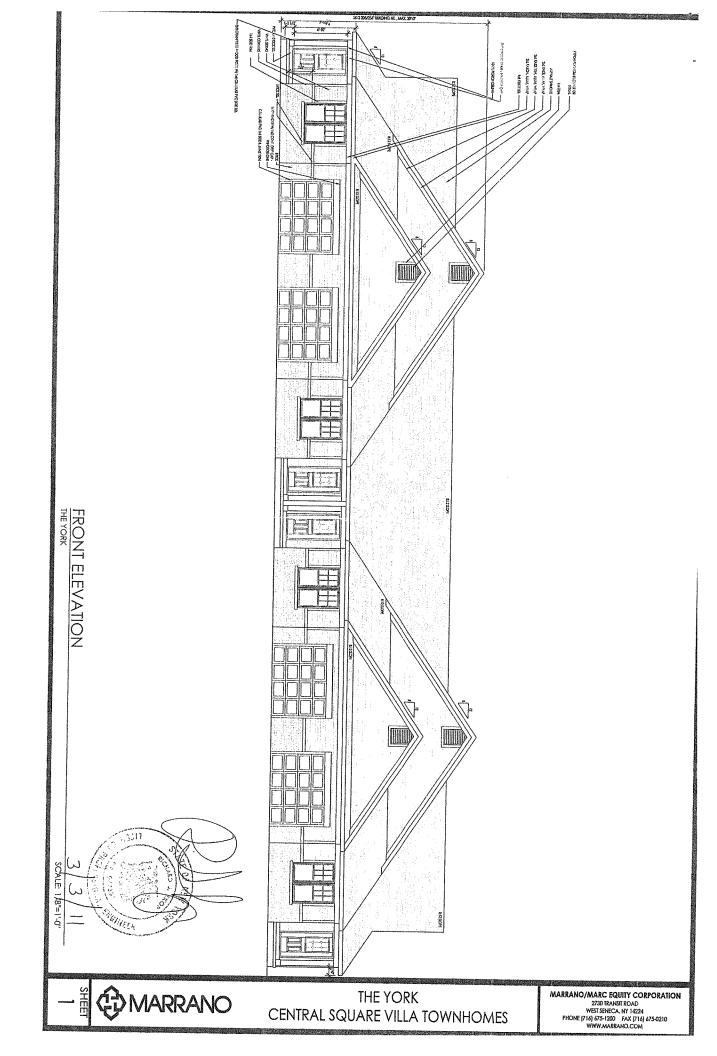
- CONTRACT DATE: JOB CODE:
- IST FLOOR GROSS: S.F.
 2ND FLOOR GROSS: S.F.
 CLERESTORY SPACE: S.F.
 GARAGE:
 PORCH(ES):
 BASEMENT (SLAB: S.F.
 BASEMENT SLAB: S.F. SALES:
 DRAFTING:
 ESTIMATING:
 COORDINATION: PRODUCTION:
 - MODEL: ELEVATION: HAND OF HOUSE:

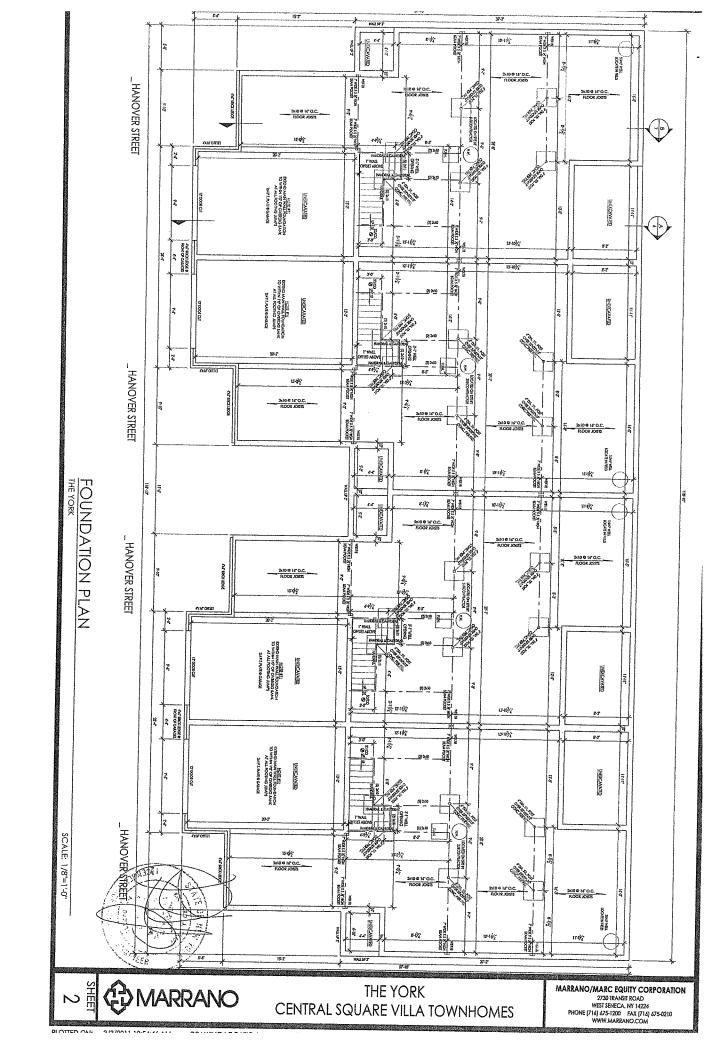
- BUILDING (R005.27.1)
 DOUBLE LAYER OF UNDERLAYMENT REQUIRED
 ON ROOF SLOPES OF 417.8 UNDER.
 ASPHALT SHINGLES AS SELECTED.
 VENTLATED WAYLL SOFFIT AT ALL HORIZONTAL INSTALLED AT EDGE OF EAVE TO A POWT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE
- THE STATE OF THE S ALL ROOF OVERHANGS ARE 1'-Q'; MEASURED FROM FACE OF EXTERIOR SHEATHING, BRICK,
- C 0475 SESSION ! تما

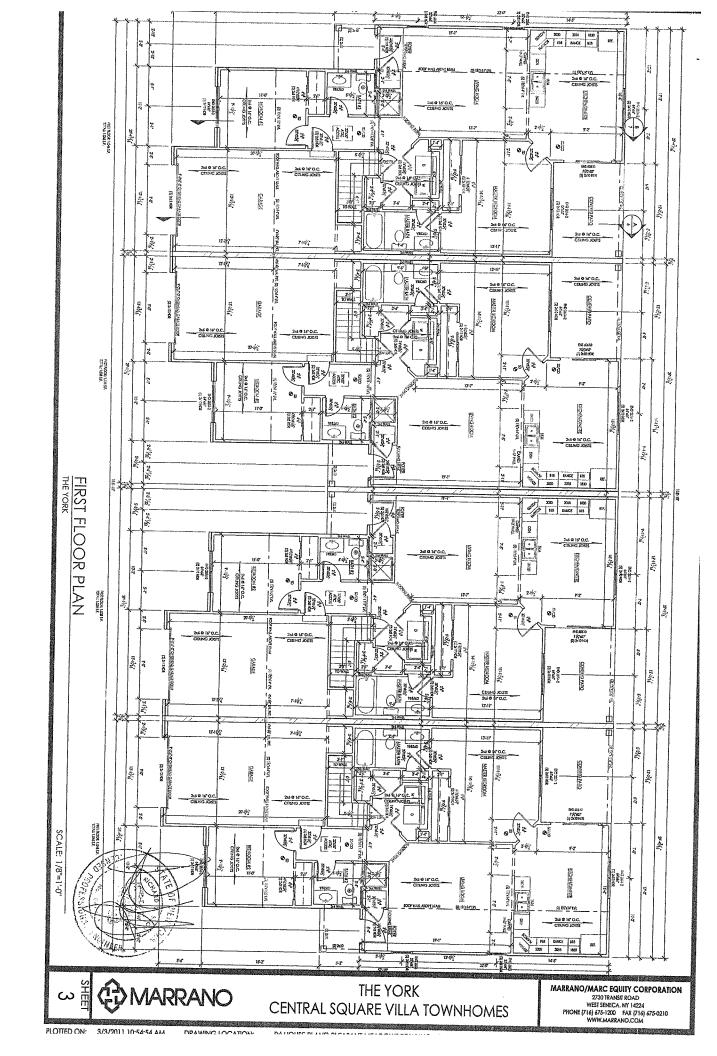


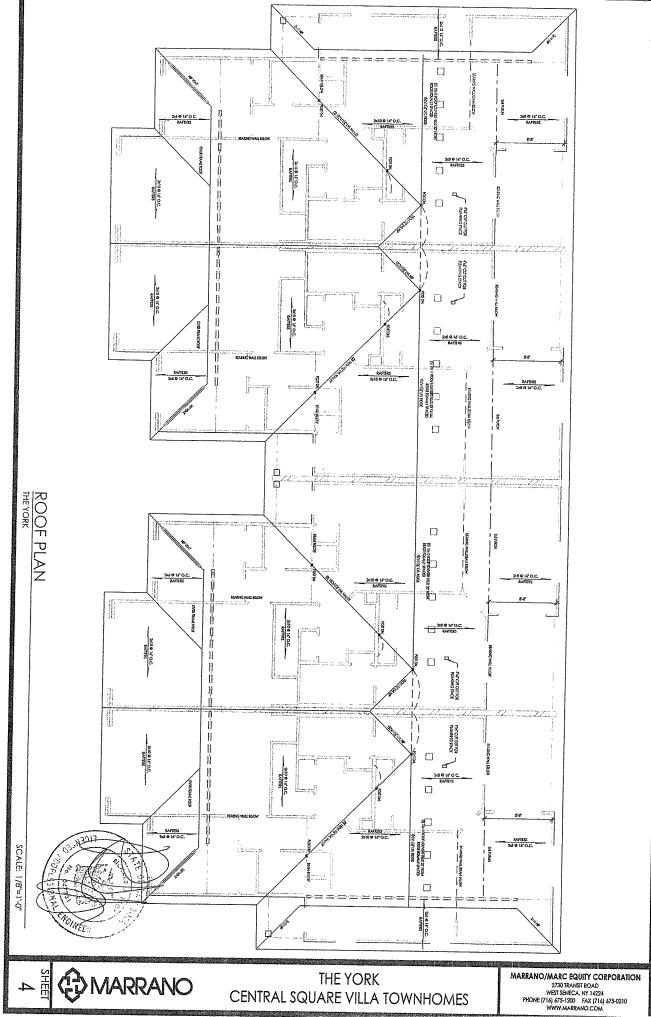
PROFESSIONAL SEAL

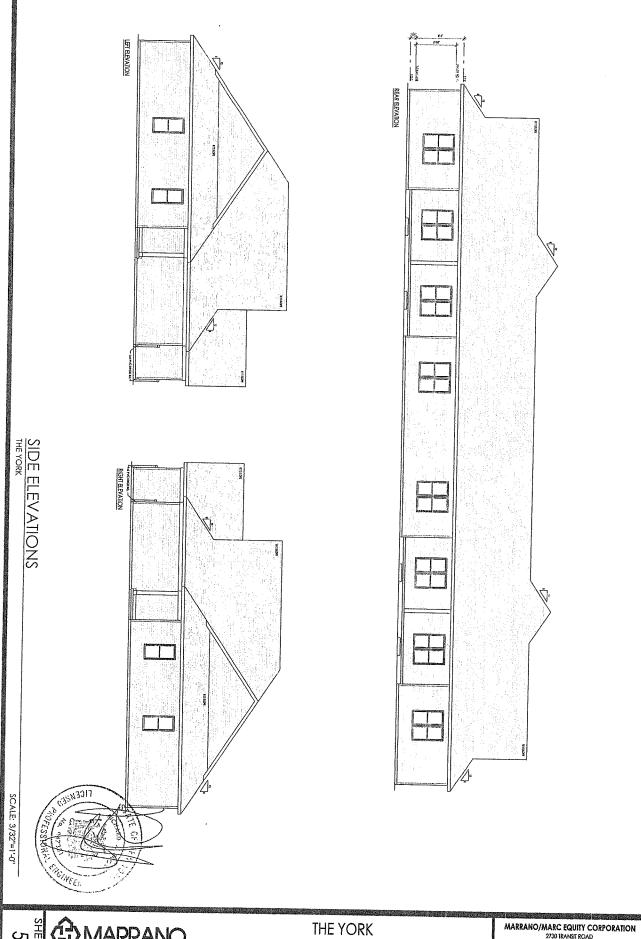
	* 1.74
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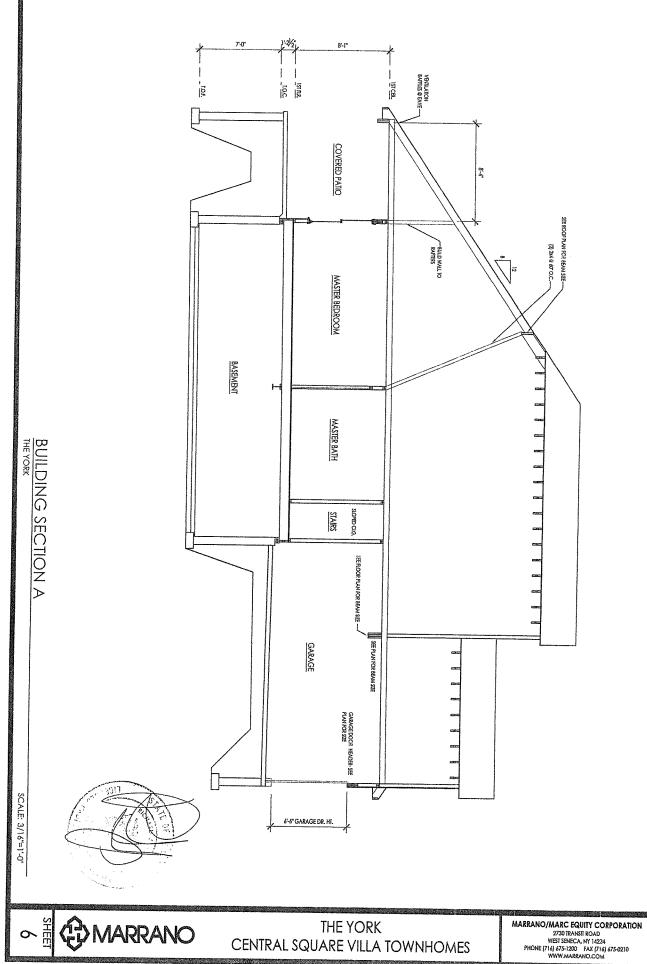


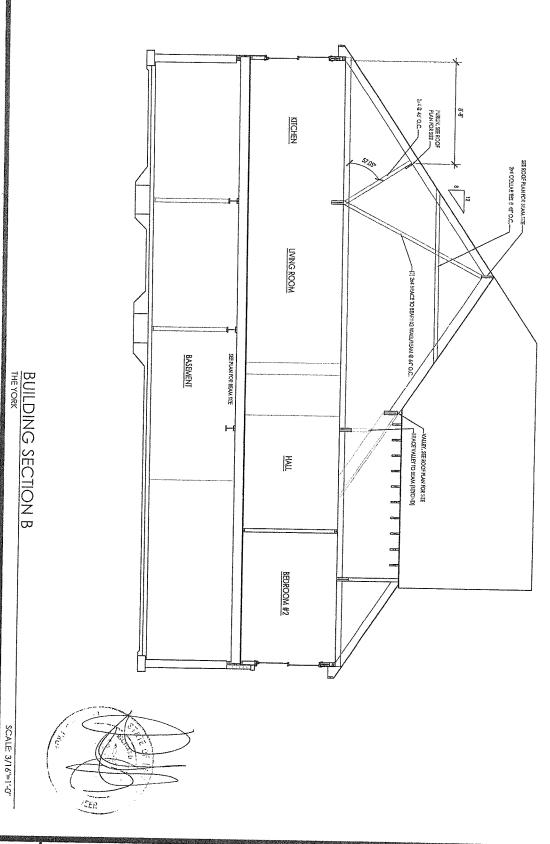






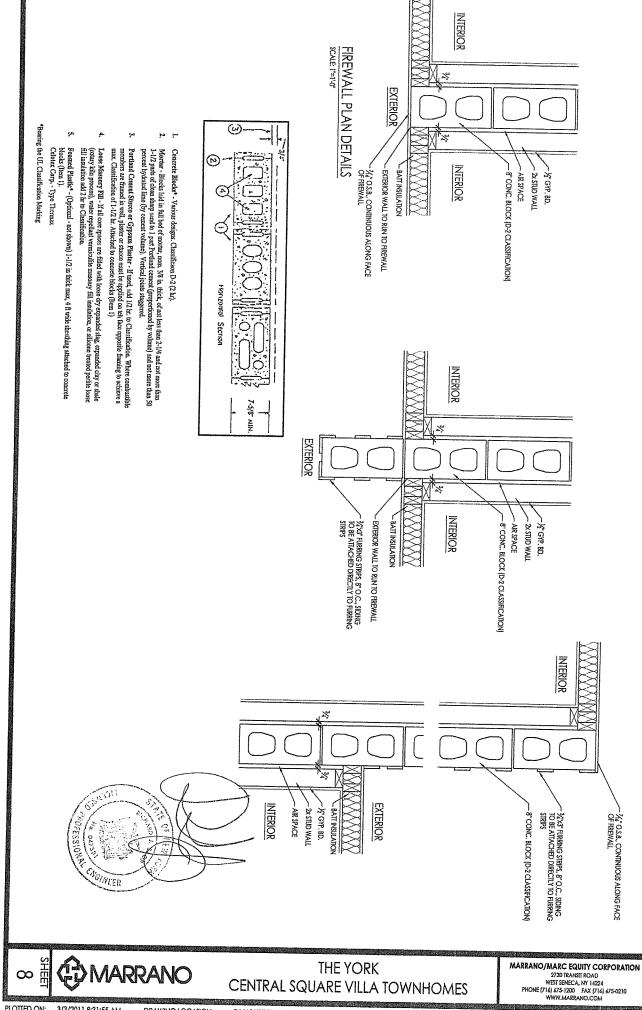


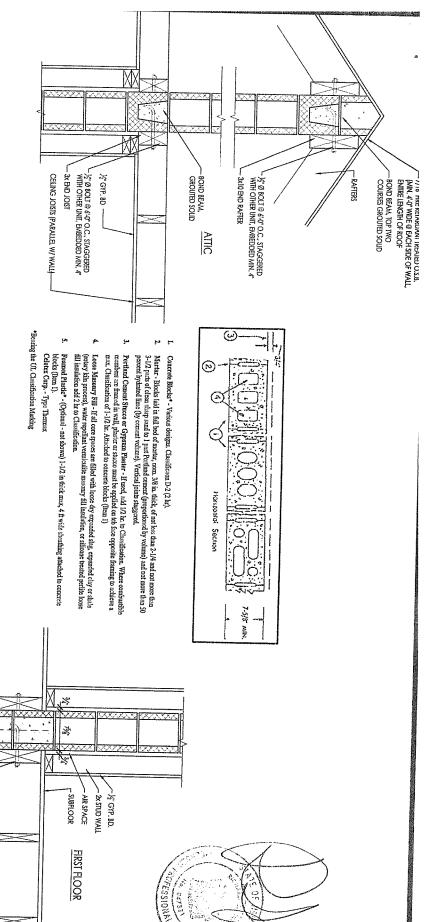


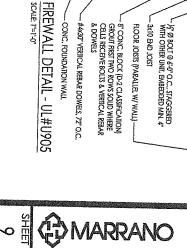


SHEET 7

@MARRANO







THE YORK **CENTRAL SQUARE VILLA TOWNHOMES** MARRANO/MARC EQUITY CORPORATION 2730 TRANSIT ROAD WEST SENECA. NY 14224 PHONE 1716 475-1200 TAX 1716 475-0210 WWW.MARRANO.COM

CONC, FOUNDATION WALL

3x10 END JOIST

Exhibit F

"Central Square Villas" Schedule A Offering Prices and Related Information For First Year of Operation Based on Occupancy of All Units (Letters in parentheses designate footnotes that follow)

Commencing November 1, 2009

2050	204D	203D	202D	201D	104A 104B 104C	103A 103B 103C	102A 102B 102C	101A 101B 101C	(A)	Unit Identification *
1,238	1,236	1,236	1,238	1,270	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	(B)	Usable Square Feet **
\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	(C)	Offering Price
1/200	1/200	1/200	1/200	1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	(D)	Percentage of Common Interest
\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	(E)	Projected Monthly Common Charge
\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	(F)	Projected Monthly Real Estate Taxes ***
\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	(G)	Projected Monthly Carrying Charges
\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	(H)	Projected Monthly Carrying Deductible for Income Tax

41	4	4	4	4	. 4	ω	ωω	·	. w w	ίω	w w	(1)	យួយ	N		Identi
406D	405D	404D	403D	402D	4010	304C	304A 304B	303C	303A 303B	302C	302A 302B	301C	301A 301B	206D	(A)	Unit Identification *
1,270	1,238	1,236	1,236	1,238	1,270	1,381	1,046 1,285	1,366	1,038 1,266	1,366	1,038 1,266	1,381	1,046 1,285	1,270	(B)	Usable Square Feet **
\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$229,900	\$214,900 \$224,900	\$219,900	\$204,900 \$214,900	\$219,900	\$204,900 \$214,900	\$229,900	\$214,900 \$224,900	\$182,900	(C)	Offering Price
1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200 1/200	1/200	1/200 1/200	1/200	1/200 1/200	1/200	1/200 1/200	1/200	(D)	Percentage of Common Interest
\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	(E)	Projected Monthly Common Charge
\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$379.50	\$354.75 \$371.25	\$363.00	\$338.25 \$354.75	\$363,00	\$338.25 \$354.75	\$379.50	\$354.75 \$371.25	\$302,50	(F)	Projected Monthly Real Estate Taxes ***
\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$525.00	\$500.25	\$508.50	\$483.75	\$508.50	\$483.75	\$525.00	\$500.25	\$448.00	(G)	Projected Monthly Carrying Charges
\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$379.50	\$354.75	\$363.00	\$338.25	\$363.00	\$338.25	\$379.50	\$354.75	\$302.50	(H)	Projected Monthly Carrying Deductible for Income Tax Purposes****

\$286.00	\$431.50	\$286.00	\$145.50	1/200	\$172,900	1,270	7010
\$302.50	\$448.00	\$302.50	\$145.50	1/200	\$182,900	1,270	606D
\$288.75	\$434.25	\$288.75	\$145,50	1/200	\$174,900	1,238	605D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,236	604D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,236	603D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,238	602D
\$302.50	\$448.00	\$302.50	\$145.50	1/200	\$182,900	1,270	601D
\$354.75 \$371.25 \$379.50	\$500.25 \$516.75 \$525.00	\$354.75 \$371.25 \$379.50	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$214,900 \$224,900 \$229,900	1,046 1,285 1,381	504A 504B 504C
\$338.25 \$354.75 \$363.00	\$483.75 \$500.25 \$508.50	\$338.25 \$354.75 \$363.00	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$204,900 \$214,900 \$219,900	1,038 1,266 1,366	503A 503B 503C
\$338.25 \$354.75 \$363.00	\$483.75 \$500.25 \$508.50	\$338.25 \$354.75 \$363.00	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$204,900 \$214,900 \$219,900	1,038 1,266 1,366	502A 502B 502C
\$354.75 \$371.25 \$379.50	\$500.25 \$516.75 \$525.00	\$354.75 \$371.25 \$379.50	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$214,900 \$224,900 \$229,900	1,046 1,285 1,381	501A 501B 501C
(H)	(G)	(F)	(E)	(D)	(C)	(B)	(A)
Projected Monthly Carrying Deductible for Income Tax Purposes****	Projected Monthly Carrying Charges	Projected Monthly Real Estate Taxes ***	Projected Monthly Common Charge	Percentage of Common Interest	Offering Price	Usable Square Feet **	Unit Identification *

901A 901B 901C	806D	805D	804D	803D	802D	801D	708D	707D	706D	705D	704D	703D	702D	(A)	Unit Identification *
1,046 1,285 1,381	1,270	1,238	1,236	1,236	1,238	1,270	1,270	1,236	1,238	1,238	1,236	1,236	1,238	(B)	Usable Square Feet **
\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$172,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	(C)	Offering Price
1/200 1/200 1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	(D)	Percentage of Common Interest
\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$1.45.50	\$145.50	\$145.50	(E)	Projected Monthly Common Charge
\$354.75 \$371.25 \$379.50	\$302,50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$286.00	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	(F)	Projected Monthly Real Estate Taxes ***
\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$431.50	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	(G)	Projected Monthly Carrying Charges
\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$286.00	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	(н)	Projected Monthly Carrying Deductible for Income Tax Purposes****

	1101A 1,046 1101B 1,285 1101C 1,381	1,270	1,236	1,238	1,238	1,236	1,236	1,238	1,270	904A 1,046 904B 1,285 904C 1,381	903A 1,038 903B 1,266 903C 1,366	902A 1,038 902B 1,266 902C 1,366	(A) (B)	Identification * Feet **
	\$214,900 \$224,900 \$229,900	\$172,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	\$172,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$ \$204,900 6 \$214,900 5 \$219,900	(C)	** Offering Price
The state of the s	1/200 1/200 1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	(D)	Common Interest
constitution of the control of the second	\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	(E)	Common Charge
te destinate haanstelend op eksperime en met dept telenstelengen manne geldenstelen. As mit meg petropes	\$354.75 \$371.25 \$379.50	\$286.00	\$272.25		\$272.25	\$272.25	\$272.25	\$272.25	\$286.00	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	Taxes *** (F)	Monthly Real Estate
the second contract of the second	\$500.25 \$516.75 \$525.00	\$431.50	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	\$431.50	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	carrying charges (G)	Projected Monthly
And the specific of the second management of the second second second second second second second second second	\$354.75 \$371.25 \$379.50	\$286.00	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$286.00	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	for Income Tax Purposes**** (H)	Carrying Deductible

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
1102A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338,25
1102B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1102C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1103A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	
1103B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1103C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1104A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1104B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
11040	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1201D	1,270	\$182,900	1/200	\$145.50	\$302,50	\$448.00	\$302.50
1202D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1203D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1204D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1205D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1206D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1301D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1302D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1303D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1304D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

1503A 1503B 1503C	1502A 1502B 1502C	1501A 1501B 1501C	1404A 1404B 1404C	1403A 1403B 1403C	1402A 1402B 1402C	1401A 1401B 1401C	1306D	1305D	Unit Identification * (A)
1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,270	1,238	Usable Square Feet ** (B)
\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	Offering Price (C)
1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200 1/200	1/200	1/200	Percentage of Common Interest (D)
\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	Projected Monthly Common Charge (E)						
\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	Projected Monthly Real Estate Taxes *** (F)
\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	Projected Monthly Carrying Charges (G)
\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)

1706D	1705D	1704D	1703D	1702D	1701D	1604C	1604A 1604B	1603C	1603A 1603B	:	1602A 1602B 1602C	TOOTC	1601A 1601B		1504B	1504A	(A)	Unit Identification *
1,270	1,238	1,236	1,236	1,238	1,270	1,381	1,046 1,285	1,366	1,038 1,266	, , , , , , , , , , , , , , , , , , ,	1,038 1,266 1 366	1,381	1,046 1,285	±,30±	1,285	1,046	(B)	Usable Square Feet **
\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$229,900	\$214,900 \$224,900	\$219,900	\$204,900 \$214,900	006/517	\$204,900 \$214,900 \$210,000	\$229,900	\$214,900 \$224,900	OUCH CONTRACTOR OF CONTRACTOR CON	\$224,900	\$214,900	(C)	Offering Price
1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200 1/200	1/200	1/200 1/200	1/200	1/200 1/200	1/200	1/200	1/200	1/200	1/200	(D)	Percentage of Common Interest
\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50 \$145.50	\$145.50	\$145.50	\$145.50		Projected Monthly Common Charge
\$302.50	\$288.75	\$288,75	\$288.75	\$288.75	\$302.50	\$379.50	\$354.75 \$371.25	\$363.00	\$338.25 \$354,75	\$363.00	\$338.25 \$354.75	\$379.50	\$354.75 \$371.25	\$379,50	\$371.25	\$354.75	(F)	Projected Monthly Real Estate Taxes ***
\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$525.00	\$500.25	\$508.50	\$483.75	\$508.50	\$483.75	\$525.00	\$500.25	\$525.00	\$516.75	\$500.25	(G)	Projected Monthly Carrying Charges
\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$379.50	\$354.75	\$363.00	\$338.25	\$363.00	\$338.25	\$379.50	\$354.75	\$379.50	\$371.25	\$354.75	Purposes**** (H)	Carrying Deductible for Income Tax

	2001HC	1906D	1905D	1904D	1903D	1902D	1901D	1808D	1807D	1806D	1805D	1804D	1803D	1802D	1801D	· (A)	Unit Identification *
	1,413	1,270	1,238	1,236	1,236	1,238	1,270	1,270	1,236	1,238	1,238	1,236	1,236	1,238	1,270	(B)	Usable Square Feet **
The second secon	\$229,900	\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$172,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	\$164,900	\$172,900	(C)	Offering Price
the design of the property of the second of the second of the second of the second of	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	(D)	Percentage of Common Interest
er ektora skupernom malas a caska pektor er homespeljest eriket Komaya asas make tan	\$145.50	\$145.50	\$145.50	. \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	(E)	Projected Monthly Common Charge
de menoral en	\$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$286.00	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$286,00	(F)	Projected Monthly Real Estate Taxes ***
Open south the company of the compan	\$525.00	\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$431.50	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	\$417.75	\$431.50	(G)	Projected Monthly Carrying Charges
4	an innige dalah mengenan melana melana dan Bandesila dan palaman mengembahan dalam dalam s	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$286.00	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$272.25	\$286.00	Purposes**** (H)	Projected Monthly Carrying Deductible for Income Tax

\$145.50 \$288.75 \$145.50 \$288.75	\$302.50 \$448.00 \$288.75 \$434.25 \$288.75 \$434.25
(E) \$145.50 \$145.50 \$145.50 \$145.50	(F) \$288.75 \$288.75 \$371.25

2404A 2404B 2404C	2403A 2403B 2403C	2402A 2402B 2402C	2401A 2401B 2401C	2306D	2305D	2304D	2303D	2302D	2301D	2204A 2204B 2204C	(A)	Unit Identification *
1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,270	1,238	1,236	1,236	1,238	1,270	1,046 1,285 1,381	(B)	Usable Square Feet **
\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$214,900 \$224,900 \$229,900	(C)	Offering Price
1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200 1/200 1/200	(D)	Percentage of Common Interest
\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50 \$145.50	(E)	Projected Monthly Common Charge
\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	(F)	Projected Monthly Real Estate Taxes ***
\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$500.25 \$516.75 \$525.00	(G)	Projected Monthly Carrying Charges
\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	Purposes ***** (H)	Projected Monthly Carrying Deductible for Income Tax

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax
(A)	(B)	(c)	(D)	(E)	(F)	(G)	Purposes**** (H)
2501A	1,046	\$214,900	1/200	\$145.50	ASSE A TE	deleteration and special territories of separate annual resolution in the party and special power.	de e i un entre transce tradegia de esta desperado antes de un april en contrato de esta esta acesa se como de
25018	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75 \$200.25	\$354.75
2501C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$3/1.25 \$379.50
2502A	1,038	\$204,900	1/200	\$145.50	Sandidam endandende endande fan wet meg de de singet i fan seen	THE COMMENSATION OF THE PROPERTY OF THE PROPER	e e e e e e e e e e e e e e e e e e e
2502B	1,266	\$214,900	1/200	\$145.50	¢357.75	\$483.75	\$338.25
2502C	1,366	\$219,900	1/200	\$145.50	\$363,00	\$500.25	\$354.75 \$363.00
3 5	The second of th	to the control of the	a montana de 20 estado, estados estados de estados de estados de estados en estados en entre en entre de estad	producebuse i entre entre face suntice total the chapterprotos face in a complete forte	an money of the first of the first or equipped by the examination of the energy principles of the sign of the	 Object to the property of the pro	A CONTRACTOR OF THE CONTRACTOR
2503A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.75
2503B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	77.00.6U
2503C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2504A	1,046	\$214,900	1/200	\$145.50	\$35A 75	CTOO OF	
2504B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$518.75 \$100.60	\$354./5 \$331.75
2504C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2601A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500 35	
2601B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	かいけい
2601C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2602A	1,038	\$204,900	1/200	\$145.50	\$338,25	\$483.75	Chamber of the second control of the second
2602B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.75	5357 75 C2.886¢
2602C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$354.75 \$363.00
2603A	1,038	\$204,900	1/200	\$145.50	\$338.25	*482.75	
26038	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	77.0004
78030	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2604A 2604B	1,046 1,285	\$214,900 \$224.900	1/200 1/200	\$145.50	\$354.75	\$500.25	\$354.75
2604C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$516.75 \$525.00	\$371.25 \$379.50
			and the second of the second designation of the second of	and the state of t	The second secon		

\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,238	2902D
\$302.50	\$448.00	\$302.50	\$145.50	1/200	\$182,900	1,270	2901D
\$302.50	\$448.00	\$302.50	\$145.50	1/200	\$182,900	1,270	2806D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,238	2805D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,236	2804D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,236	2803D
\$288.75	\$434.25	\$288.75	\$145.50	1/200	\$174,900	1,238	2802D
\$302.50	\$448.00	\$302.50	\$145.50	1/200	\$182,900	1,270	2801D
\$354.75 \$371.25 \$379.50	\$500.25 \$516.75 \$525.00	\$354.75 \$371.25 \$379.50	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$214,900 \$224,900 \$229,900	1,046 1,285 1,381	2704A 2704B 2704C
\$338.25 \$354.75 \$363.00	\$483.75 \$500.25 \$508.50	\$338.25 \$354.75 \$363.00	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$204,900 \$214,900 \$219,900	1,038 1,266 1,366	2703A 2703B 2703C
\$338.25 \$354.75 \$363.00	\$483.75 \$500.25 \$508.50	\$338.25 \$354.75 \$363.00	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$204,900 \$214,900 \$219,900	1,038 1,266 1,366	2702A 2702B 2702C
\$354.75 \$371.25 \$379.50	\$500.25 \$516.75 \$525.00	\$354.75 \$371.25 \$379.50	\$145.50 \$145.50 \$145.50	1/200 1/200 1/200	\$214,900 \$224,900 \$229,900	1,046 1,285 1,381	2701A 2701B 2701C
Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)	Projected Monthly Carrying Charges (G)	Projected Monthly Real Estate Taxes *** (F)	Projected Monthly Common Charge (E)	Percentage of Common Interest (D)	Offering Price (C)	Usable Square Feet ** (B)	Unit Identification * (A)

3104D	3103D	3102D	3101D	3004A 3004B 3004C	3003A 3003B 3003C	3002A 3002B 3002C	3001A 3001B 3001C	2906D	2905D	2904D	2903D	Unit Identification * (A)
1,236	1,236	1,238	1,270	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,270	1,238	1,236	1,236	Usable Square Feet ** (B)
\$174,900	\$174,900	\$174,900	\$182,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	\$174,900	\$174,900	Offering Price (C)
1/200	1/200	1/200	1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200 1/200	1/200 1/200 1/200	1/200	1/200	1/200	1/200	Percentage of Common Interest (D)
\$145.50	\$145.50	\$145.50	\$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	Projected Monthly Common Charge (E)
\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	Projected Monthly Real Estate Taxes *** (F)
\$434.25	\$434.25	\$434.25	\$448.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	\$434.25	\$434.25	Projected Monthly Carrying Charges (G)
\$288.75	\$288.75	\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	Section to the content and of the content of the co	Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)

3401A 3401B 3401C	3306D	3305D	3304D	3303D	3302D	3301D	3206D	3205D	3204D	3203D	3202D	3201D	3106D	3105D	A A	Unit Identification *
1,046 1,285 1,381	1,270	1,238	1,236	1,236	1,238	1,270	1,270	1,238	1,236	1,236	1,238	1,270	1,270	1,238	(D)	Usable Square Feet **
\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$182,900	\$174,900	\$174,900	\$174,900	\$174,900	\$182,900	\$182,900	\$174,900	(C)	Offering Price
1/200 1/200 1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	1/200	(D)	Percentage of Common Interest
\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	\$145.50	(E)	Projected Monthly Common Charge
\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$302.50	\$288.75	(F)	Projected Monthly Real Estate Taxes ***
\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$448.00	\$434.25	\$434.25	\$434.25	\$434.25	\$448.00	\$448.00	\$434.25	(G)	Projected Monthly Carrying Charges
\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$302.50	\$288.75	\$288.75	\$288.75	\$288.75	\$302.50	\$302.50	\$288.75	(H)	Projected Monthly Carrying Deductible for Income Tax

3602D	3601D	3504A 3504B 3504C	3503A 3503B 3503C	3502A 3502B 3502C	3501A 3501B 3501C	3404A 3404B 3404C	3403A 3403B 3403C	3402A 3402B 3402C	Unit Identification * (A)
1,238	1,270	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	Usable Square Feet ** (B)
\$174,900	\$182,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	Offering Price (C)
1/200	1/200	1/200 1/200 1/200	Percentage of Common Interest (D)						
\$145.50	\$145.50	\$145.50 \$145.50 \$145.50	Projected Monthly Common Charge (E)						
\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	Projected Monthly Real Estate Taxes *** (F)
\$434.25	\$448.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	Projected Monthly Carrying Charges (G)
\$288.75	\$302.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)

3802A 3802B 3802C	3801A 3801B 3801C	3704A 3704B 3704C	3703A 3703B 3703C	3702A 3702B 3702C	3701A 3701B 3701C	3606D	3605D	3604D	3603D	Unit Identification * (A)
1,038 1,266 1,366	1,046 1,285 1,381	1,046 1,285 1,381	1,038 1,266 1,366	1,038 1,266 1,366	1,046 1,285 1,381	1,270	1,238	1,236	1,236	Usable Square Feet ** (B)
\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$214,900 \$224,900 \$229,900	\$204,900 \$214,900 \$219,900	\$204,900 \$214,900 \$219,900	\$214,900 \$224,900 \$229,900	\$182,900	\$174,900	\$174,900	\$174,900	Offering Price (C)
1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200 1/200 1/200	1/200	1/200	1/200	1/200	Percentage of Common Interest (D)
\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50 \$145.50 \$145.50	\$145.50	\$145.50	\$145.50	\$145.50	Projected Monthly Common Charge (E)
\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	Projected Monthly Real Estate Taxes *** (F)
\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$500.25 \$516.75 \$525.00	\$483.75 \$500.25 \$508.50	\$483.75 \$500.25 \$508.50	\$500.25 \$516.75 \$525.00	\$448.00	\$434.25	\$434.25	\$434.25	Projected Monthly Carrying Charges (G)
\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$354.75 \$371.25 \$379.50	\$338.25 \$354.75 \$363.00	\$338.25 \$354.75 \$363.00	\$354.75 \$371.25 \$379.50	\$302.50	\$288.75	\$288.75	\$288.75	Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)

	\$37,392.00 \$38,646.00 \$39,273.00 \$52,236.50 \$516.75 \$525.00 \$868.50	\$26,334.00 \$27,588.00 \$28,215.00 \$34,776.50 \$371.25 \$379.50 \$577.50	\$11,058.00 \$11,058.00 \$11,058.00 \$17,460.00 \$145.50 \$145.50 \$291.00	100 100 100 100 100 100	\$15,952,400 \$16,712,400 \$17,092,400 \$21,052,000 \$224,900 \$229,900 \$349,800	79,192 96,938 104,386 149,694 1,316 1,413 2,486	Total A Total B Total C Total D Total HB Total HC Total HD
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,046	3904A
\$371.25	\$516.75	\$371.25	\$145.50	1/200	\$224,900	1,285	3904B
\$379.50	\$525.00	\$379.50	\$145.50	1/200	\$229,900	1,381	3904C
\$338.25	\$483.75	\$338.25	\$145.50	1/200	\$204,900	1,038	3903A
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,266	3903B
\$363.00	\$508.50	\$363.00	\$145.50	1/200	\$219,900	1,366	3903C
\$338.25	\$483.75	\$338.25	\$145.50	1/200	\$204,900	1,038	3902A
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,266	3902B
\$363.00	\$508.50	\$363.00	\$145.50	1/200	\$219,900	1,366	3902C
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,046	3901A
\$371.25	\$516.75	\$371.25	\$145.50	1/200	\$224,900	1,285	3901B
\$379.50	\$525.00	\$379.50	\$145.50	1/200	\$229,900	1,381	3901C
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,046	3804A
\$371.25	\$516.75	\$371.25	\$145.50	1/200	\$224,900	1,285	3804B
\$379.50	\$525.00	\$379.50	\$145.50	1/200	\$229,900	1,381	3804C
\$338.25	\$483.75	\$338.25	\$145.50	1/200	\$204,900	1,038	3803A
\$354.75	\$500.25	\$354.75	\$145.50	1/200	\$214,900	1,266	3803B
\$363.00	\$508.50	\$363.00	\$145.50	1/200	\$219,900	1,366	3803C
Projected Monthly Carrying Deductible for Income Tax Purposes**** (H)	Projected Monthly Carrying Charges (G)	Projected Monthly Real Estate Taxes *** (F)	Projected Monthly Common Charge (E)	Percentage of Common Interest (D)	Offering Price (C)	Usable Square Feet ** (B)	Unit Identification * (A)

*Unit Identification:

**Unit size is approximate and subject to change. A (York) - Ranch Style Unit (2 bedrooms / 2 bathrooms / 1-car garage / patio) B (Winston) - Two Story Unit (2 bedrooms / 2½ bathrooms / 2-car garage) HD (Hybrid Cambridge) - Two Story Unit (2 bedrooms / 1½ bathrooms / 1-car garage) HC (Hybrid Livingston) - Two Story Unit (2 bedrooms / 1½ bathrooms / 2-car garage / patio) HB (Hybrid Winston) - Two Story Unit (2 bedrooms / 2½ bathrooms / 2-car garage) D (Cambridge) - Two Story Unit (2 bedrooms / 1½ bathrooms / 1-car garage) C (Livingston) - Two Story Unit (2 bedrooms / 1½ bathrooms / 2-car garage / patio)

***Maximum Real Estate tax estimates (not including STAR exemption)

****See "Opinion of Tax Counsel" contained within this Offering Plan.

Floor Plan HD (hybrid unit)	Floor Plan HC (hybrid unit)	Floor Plan HB (hybrid unit)	Floor Plan D (middle unit / 8-unit building)	Floor Plan D (end unit / 8-unit building)	Floor Plan D (middle unit / 6-unit building)	Floor Plan D (end unit / 6-unit building)	Floor Plan C (middle unit)	Floor Plan C (end unit)	Floor Plan B (middle unit)	Floor Plan B (end unit)	Floor Plan A (middle unit)	Floor Plan A (end unit)	Annual Projected Real Estate Taxes:
\$3,465	\$4,554	\$4,455	\$3,267	\$3,432	\$3,465	\$3,630	\$4,356	\$4,554	\$4,257	\$4,455	\$4,059	\$4,257	

Schedule A Footnotes

Central Square Villas

A. The projected common charges are for the twelve (12) month period beginning November 1, 2009. There are seven (7) models available to Purchasers:

<u>Model</u>	<u>Description</u>
A (York)	Ranch Style Unit (2 bedrooms/2 bathrooms)
B (Winston)	Two-story Unit (2 bedrooms/2½ bathrooms)
C (Livingston)	Two-story Unit (2 bedrooms/1½ bathrooms)
D (Cambridge)	Two-story Unit (2 bedrooms/1½ bathrooms)
HB (Hybrid Winston)	Two-story Unit (2 bedrooms/2½ bathrooms)
HC (Hybrid Livingston)	Two-story Unit (2 bedrooms/1½ bathrooms)
HD (Hybrid Cambridge)	Two-story Unit (2 bedrooms/1½ bathrooms)

- B. The square footage for each unit has been calculated by using living space (measurements from interior walls) as noted on Schedule A. See section of this Offering Plan entitled "Changes in Prices and Units" relative to changes in unit size.
- C. The offering prices of the units are as set forth in this Schedule. There are two (2) pricing tiers for models A, B, and C depending on the location of the unit. Tier 1 includes all end units, units located at the end of the building having only one common wall. Tier 2 includes all interior units, units located in the middle of the building having two common walls. There are four (4) pricing tiers for model D depending on the type of building and location of the unit. Tier 1 includes all 6-unit building end units and tier 2 includes all 6-unit building interior units. Tier 3 includes all 8-unit building end units and tier 4 includes all 8-unit building interior units. Models HB, HC and HD have just one pricing tier. A map showing the approximate location of the units is included in Part II of this Offering Plan. See the section of this Offering Plan entitled "Changes in Prices or Units" for a discussion of price changes. See the section of this Offering Plan entitled "Closing Costs and Adjustments" for the information regarding closing costs.
- D. As set forth in Real Property Law Section 339.i (1) (iii), the interest of each unit in the common elements is equal and has been determined to be 1/200 for each unit based on the number of units and units being of approximately the same size.
- E. The monthly charge will cover the operation, repair, maintenance, and replacement of all common areas. This includes all water used on the property, electricity in common areas, snow removal, landscape maintenance and insurance, legal and accounting fees. A reserve account has also been established for major repairs and/or maintenance. The estimated monthly common charge is \$145.50 per unit based on 200 units.
- F. The projected assessed valuation of the units is on a completed unit basis. The combined tax rate used to calculate the projected real estate tax is approximately \$33.00 per \$1,000 of assessed valuation, pursuant to an estimate prepared and provided by Real Property Services LLC. The estimated assessed valuation of Units per Real Property Service, LLC is as follows:

Schedule A Footnotes (continued)

Central Square Villas

	Tier 1 (end unit)	Tier 2 (interior unit)	Tier 3 (end unit)	Tier 4 (interior unit)
Unit A	\$4,257	\$4,059	~~	
Unit B	\$4,455	\$4,257	The second second second section is the second section of the second section sect	error or a constraint of the c
Unit C	\$4,554	\$4,356	the desire of the second second second second	the factorization is a second of the second
Unit D	\$3,630	\$3,465	\$3,432	\$3,267
Unit HB	\$4,455			
Unit HC	\$4,554			
Unit HD	\$3,465			

(See attached letter).

- G. If Purchaser obtains financing, the debt service on such financing will be an additional monthly expense. Further, the projected carrying charges do not include certain housing costs to which the owner is generally responsible such as repairs to the interior of the unit, separately metered gas, electricity, hot water and heat. As units are individually heated so that unit owners must pay heating costs directly to the supplier, please refer to the projection for heat, hot water and electricity set forth in Schedule B-1.
- H. The projected amount deductible for income tax purposes may vary in subsequent years due to changes in the interest rate on any mortgage, refinancing the mortgage, the allocation of constant debt service payments between interest and principal, or due to changes in the assessed value, the tax rate or in the method of assessing real property which result in change in real property taxes, or such other changes as may reasonably be expected to affect deductions. Current Internal Revenue Code Regulations permit individuals to deduct only real estate taxes and mortgage interest on property used as a primary or secondary residence. If the Owner thereof uses the property for rental purposes, different tax considerations will apply. The Owners are advised to consult tax counsel regarding their own circumstances in this instance.



April 27, 2009

RE: Central Square Villas (Townhouses)
Town of Lancaster, New York

Dear Marrano/Marc Equity Corporation:

At your request as the developer of the proposed Central Square Villas Condominium project located off of Pleasant View Drive in the Town of Lancaster, Erie County, New York, I have estimated a reasonable assessment and tax level for each of the twelve (12) types of floor plans to be offered. The estimated levels reflect projected 2010 assessments (at 100% of value) and tax rates. The assessments projected for the condominium units reflect "rental" values based upon New York State Real Property Tax Law. A Pro Forma Operating Statement for each unit type is attached which illustrates the derivation of value.

Attached also is a summary grid showing each unit type, the anticipated sales price, the derived condominium value/assessment, and the associated taxes with and without the New York State Basic STAR Exemption.

Thank you for the opportunity to complete this analysis for you. Please call me should you have any questions.

Sincerely,

Donald A. Griebner

President

New York State Certified General Real Estate Appraiser

ll a Rulin

ID #: 46-4373

Att:jas

Central Square Villas April, 2008

Nio	*** ******	~				Taxes
<u>No.</u>	Type	Size (SF)	Price	Condo Value	Total Taxes	w/STAR
1	A-End Unit	1,046	\$ 214,900	\$ 129,000	\$ 4,257	\$ 3,762
2	A-Middle	1,038	\$ 204,900	\$ 123,000	\$ 4,059	\$ 3,564
3	B-Hybrid	1,316	\$ 224,900	\$ 135,000		
4	B-End Unit	1,285			\$ 4,455	\$ 3,960
-			\$ 224,900	\$ 135,000	\$ 4,455	\$ 3,960
. 5	B-Middle	1,266	\$ 214,900	\$ 129,000	\$ 4,257	\$ 3,762
6	C-Hybrid	1,413	\$ 229,900	\$ 138,000	\$ 4,554	\$ 4,059
7	C-End Unit	1,381	\$ 229,900	\$ 138,000	•	
8	C-Middle	1,366		and the second of the second of	\$ 4,554	\$ 4,059
	with Administration and the second se	Per 10 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	\$ 219,900	\$ 132,000	\$ 4,356	\$ 3,861
9	D-End Unit	1,270	\$ 182,900	\$ 110,000	\$ 3,630	\$ 3,135
10	D-Middle	1,240	\$ 174,900	\$ 105,000	\$ 3,465	
11	D-End Unit	1,270		• • • • • • • • • • • • • • • • • • • •		\$ 2,970
	to the management of the same and the	the territory was an are asset to be a	\$ 172,900	\$ 104,000	\$ 3,432	\$ 2,937
12	D-Middle	1,237	\$ 164,900	\$ 99,000	\$ 3,267	\$ 2,772

Central Square Villas Floor Plan A - End Unit April, 2008

Income

1,046 sf @ \$1.38/sf = \$1,440/mo. X 12 = \$17,280 Less: Vacancy & Collection @ 5%: (\$864) Effective Gross Income: \$16,416

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$209

 Utilities
 \$.25/sf:
 \$261

 Maint/Payroll
 \$.75/sf:
 \$784

 Management
 5%:
 \$821

 Prof Fees:
 \$.10/sf:
 \$105

 Reserve
 \$.30/sf:
 \$314

Total Operating Expenses: (\$2,494)
Net Operating Income: \$13,922

Cap Rate: 0.075 + .033 = 0.108

Indicated Rental Value: \$128,907

® \$129,000

Central Square Villas Floor Plan A - Middle Unit April, 2008

Income

1,038 sf @ \$1.33/sf = \$1,380/mo. X 12 = \$16,560 Less: Vacancy & Collection @ 5%: (\$828) Effective Gross Income: \$15,732

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$207

 Utilities
 \$.25/sf:
 \$259

 Maint/Payroll
 \$.75/sf:
 \$776

 Management
 5%:
 \$787

 Prof
 Fees:
 \$.10/sf:
 \$104

 Reserve
 \$.30/sf:
 \$311

Total Operating Expenses: (\$2,444)
Net Operating Income: \$13,288

Cap Rate: 0.075 + .033 = 0.108

Indicated Rental Value: \$123,037

® \$123,000

Central Square Villas Floor Plan B - Hybrid Unit April, 2008

Income

1,316 sf @ \$1.17/sf = \$1,540/mo. X 12 = \$18,480 Less: Vacancy & Collection @ 5%: (\$924) Effective Gross Income: \$17,556

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$263

 Utilities
 \$.25/sf:
 \$329

 Maint/Payroll
 \$.75/sf:
 \$987

 Management
 5%:
 \$878

 Prof Fees:
 \$.10/sf:
 \$132

 Reserve
 \$.30/sf:
 \$395

Total Operating Expenses: (\$2,984)
Net Operating Income: \$14,572

Cap Rate: 0.075 + .033 = 0.108

Indicated Rental Value: \$134,926

® \$135,000

Central Square Villas Floor Plan B - End Unit April, 2008

Income

1,285 sf @ \$1.19/sf = \$1,535/mo. X 12 = \$18,420 Less: Vacancy & Collection @ 5%: (\$921) Effective Gross Income: \$17,499

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$257

 Utilities
 \$.25/sf:
 \$321

 Maint/Payroll
 \$.75/sf:
 \$964

 Management
 5%:
 \$875

 Prof Fees:
 \$.10/sf:
 \$129

 Reserve
 \$.30/sf:
 \$386

Total Operating Expenses: (\$2,932)
Net Operating Income: \$14,567

Cap Rate: 0.075 + .033 = 0.108

Central Square Villas
Floor Plan B - Middle Unit
April, 2008

Income

1,266	sf @ \$1.17/sf = \$1,475/mo. X 12 =	\$17,700
	y & Collection @ 5%:	(\$885)
Effective Gro	ss Income:	\$16.815

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$253
Utilities @ \$.25/sf:	\$317
Maint/Payroll @ \$.75/st	f: \$950
Management @ 5%:	\$841
Prof Fees: \$.10/sf:	\$127
Reserve @ \$.30/sf:	<u>\$380</u>

Total Operating Expenses:	(\$2,868)
Net Operating Income:	\$13.947

Cap Rate:	0.075 + .033 =	0.108
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Central Square Villas Floor Plan C - Hybrid Unit April, 2008

Income

1,413 sf @ \$1.12/sf = \$1,585/mo. X 12 = \$19,020 Less: Vacancy & Collection @ 5%: (\$951) Effective Gross Income: \$18,069

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$283

 Utilities
 \$.25/sf:
 \$353

 Maint/Payroll
 \$.75/sf:
 \$1,060

 Management
 5%:
 \$903

 Prof Fees:
 \$.10/sf:
 \$141

 Reserve
 \$.30/sf:
 \$424

Total Operating Expenses:(\$3,164)Net Operating Income:\$14,905

Cap Rate: 0.075 + .033 = 0.108

Indicated Rental Value: \$138,009 ® \$138,000

Pro-Forma Operating Statement Central Square Villas

Central Square Villas Floor Plan C - End Unit April, 2008

Income

1,381 sf @ \$1.14/sf = \$1,580/mo. X 12 =	\$18,960
Less: Vacancy & Collection @ 5%:	<u>(\$948)</u>
Effective Gross Income:	\$18,012

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$276
Utilities @ \$.25/sf:	\$345
Maint/Payroll @ \$.75/s	f: \$1,036
Management @ 5%:	\$901
Prof Fees: \$.10/sf:	\$138
Reserve @ \$.30/sf:	<u>\$414</u>

Total Operating Expenses:	<u>(\$3,110)</u>
Net Operating Income:	\$14,902

Cap Rate: 0.075 + .033 = 0.108	Cap Rate:	0.075 + .033 =	0.108
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Central Square Villas Floor Plan C - Middle Unit April, 2008

Income

1,366 sf @ \$1.11/sf = \$1,520/mo. X 12 = \$18,240 Less: Vacancy & Collection @ 5%: (\$912) Effective Gross Income: \$17,328

Expenses:

 Real Estate Taxes:
 (.033 added to cap rate)

 Insurance:
 \$.20/sf
 \$273

 Utilities
 \$.25/sf:
 \$342

 Maint/Payroll
 \$.75/sf:
 \$1,025

 Management
 5%:
 \$866

 Prof Fees:
 \$.10/sf:
 \$137

 Reserve
 \$.30/sf:
 \$410

Total Operating Expenses: Net Operating Income:

<u>(\$3,053)</u> \$14,275

Cap Rate:

0.075 + .033 =

0.108

Indicated Rental Value:

\$132,176 \$132,000

Pro-Forma Operating Statement Central Square Villas

Central Square Villas Floor Plan D - End Unit April, 2008

Income

1,270	sf @ \$1.01/sf = \$1,285/mo. X 12 =	\$15,420
	cy & Collection @ 5%:	(\$771)
Effective Gro	ss Income:	\$14,649

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$254
Utilities @ \$.25/sf:	\$318
Maint/Payroll @ \$.75/st	\$953
Management @ 5%:	\$732
Prof Fees: \$.10/sf:	\$127
Reserve @ \$.30/sf:	<u>\$381</u>

Total Operating Expenses:	<u>(\$2,765)</u>
Net Operating Income:	\$11,884

Cap Rate:	0.075 + .033 =	0.108
cap Rate:	$0.075 \pm .033 =$	0.108

Central Square Villas Floor Plan D - Middle Unit April, 2008

Income

1240 (avg.) sf @ \$.99/sf = \$1,230/mo. X 12 =	\$14,760
Less: Vacancy & Collection @ 5%:	(\$738)
Effective Gross Income:	\$14,022

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$248
Utilities @ \$.25/sf:	\$310
Maint/Payroll @ \$.75/s	f: \$930
Management @ 5%:	\$701
Prof Fees: \$.10/sf:	\$124
Reserve @ \$.30/sf:	<u>\$372</u>

Total Operating Expenses:	(\$2,685)
Net Operating Income:	\$11.337

Cap Rate: 0.075 + .033 = 0.108

Central Square Villas Floor Plan D - End Unit April, 2008

Income

1,270	sf @ \$.96/sf = \$1,225/mo. X 12 =	\$14,700
	cy & Collection @ 5%:	(\$735)
Effective Gr	oss Income:	\$13,965

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$254
Utilities @ \$.25/sf:	\$318
Maint/Payroll @ \$.75/si	
Management @ 5%:	\$698
Prof Fees: \$.10/sf:	\$127
Reserve @ \$.30/sf:	<u>\$381</u>
Utilities @ \$.25/sf: Maint/Payroll @ \$.75/si Management @ 5%: Prof Fees: \$.10/sf:	\$318 f: \$953 \$698 \$127

Total Operating Expenses:	(\$2,731)
Net Operating Income:	\$11.234

Cap Rate:	0.075 + .033 =	0.108

Pro-Forma Operating Statement
Central Square Villas
Floor Plan D - Middle Unit (8-Unit Bldg.)
April, 2008

Income

1237 (avg.) sf @ \$.95/sf = \$1,170/mo. X 12 =	\$14,040
Less: Vacancy & Collection @ 5%:	(\$702)
Effective Gross Income:	\$13,338

Expenses:

Real Estate Taxes:	(.033 added to cap rate)
Insurance: @ \$.20/sf	\$247
Utilities @ \$.25/sf:	\$309
Maint/Payroll @ \$.75/s	f: \$928
Management @ 5%:	\$667
Prof Fees: \$.10/sf:	\$124
Reserve @ \$.30/sf:	<u>\$371</u>

Total Operating Expenses:	(\$2,646)
Net Operating Income:	\$10,692

Cap Rate:	0.075 + .033 =	0.108
cap Rate:	0.075 + .033 =	0.108

Indicated Rental Value: \$99,000 \$99,000

Central Square Villas Schedule B-1

Budget for Individual Energy Costs

Projected Budget for Individual Energy Costs for Year Commencing November 1, 2009

Unit A (1,038 or 1,046 Square	e Feet)	
(1) Heat and Hot Water(2) Electric(3) Electric (with A/C)	\$1,218-\$1,272 per year \$840-\$900 per year \$1,140-\$1,200 per year	\$102-\$106 per month \$70-\$75 per month \$95-\$100 per month

Unit B (1,266, 1,285 or 1,316		
(1) Heat and Hot Water(2) Electric(3) Electric (with A/C)	\$1,171-\$1,267 per year \$840-\$900 per year \$1,140-\$1,200 per year	\$98-\$106 per month \$70-\$75 per month \$95-\$100 per month

Unit C (1,366, 1,381 or 1,413	Square Feet)	
(1) Heat and Hot Water	\$1,212-\$1,299 per year	\$101-\$108 per month
(2) Electric	\$840-\$900 per year	\$70-\$75 per month
(3) Electric (with A/C)	\$1,140-\$1,200 per year	\$95-\$100 per month

Unit D (1,236, 1,238, 1,243 o		
(1) Heat and Hot Water (2) Electric	\$1,150-\$1,257 per year \$840-\$900 per year	\$96-\$105 per month \$70-\$75 per month
(3) Electric (with A/C)	\$1,140-\$1,200 per year	\$95-\$100 per month

- (A1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$102-\$106 per month, or \$1,218-\$1,272 per year.
- (A2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.

- (A3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.
- (B1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$98-\$106 per month, or \$1,171-\$1,267 per year.
- (B2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (B3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.
- (C1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$101-\$108 per month, or \$1,212-\$1,299 per year.
- (C2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (C3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.

- (D1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$96-\$105 per month, or \$1,150-\$1,257 per year.
- (D2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (D3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.

It should be noted that persons of varying needs and standards of comfort would occupy the units. Therefore, the actual amount of energy used by the unit occupants may vary substantially from the estimates presented herein.

The estimates set forth above do not include sales tax or inflation factors. Sales tax of 4.75% plus a reasonably anticipated annual increase of 3% to meet any rate increase that may occur should be added to the estimated energy costs.

Exhibit G

Price Change Schedule

Unit#	Current Price	New Price	Unit#	Current Price	New Price	<u>Unit#</u>	Current Price	New Price
101A	\$209,900	\$214,900	406D	\$187,900				
101B	\$229,900	\$224,900	4000	\$107,300	\$182,900	805D	\$179,900	\$174,900
101C	\$226,900	\$229,900	501A	\$209,900	6344.000			
	,	422,300	501A	\$209,900	\$214,900	806D	\$187,900	\$182,900
102A	\$199,900	\$204,900	501B		\$224,900			
102B	\$219,900	\$214,900	2010	\$226,900	\$229,900	901A	\$209,900	\$214,900
102C	\$216,900	\$219,900	502A	¢100.000	† 224.000	901B	\$229,900	\$224,900
	+,200	ΨZ13,300	502A	\$199,900	\$204,900	901C	\$226,900	\$229,900
103A	\$199,900	\$204,900	502B	\$219,900	\$214,900	to reference to		
103B	\$219,900	\$214,900	3020	\$216,900	\$219,900	902A	\$199,900	\$204,900
103C	\$216,900	\$219,900	503A	¢100.000	.	902B	\$219,900	\$214,900
	7220,000	ΨZ13,300	503B	\$199,900	\$204,900	902C	\$216,900	\$219,900
104A	\$209,900	\$214,900	ĵ	\$219,900	\$214,900	37		
104B	\$229,900	\$224,900	503C	\$216,900	\$219,900	903A	\$199,900	\$204,900
104C	\$226,900	\$229,900	5044	¢200 000	4 -	903B	\$219,900	\$214,900
	7220,300	7223,300	504A	\$209,900	\$214,900	903C	\$216,900	\$219,900
201D	\$187,900	\$182,900	504B	\$229,900	\$224,900			
2015	4107,500	7102,300	504C	\$226,900	\$229,900	904A	\$209,900	\$214,900
202D	\$179,900	\$174,900	6015	4.05.05.		904B	\$229,900	\$224,900
LUZD	7175,500	\$174,900	601D	\$187,900	\$182,900	904C	\$226,900	\$229,900
203D	\$179,900	¢174.000	5005	.		and the state of t		
2030	\$175,500	\$174,900	602D	\$179,900	\$174,900	1001D	\$177,900	\$172,900
204D	\$179,900	\$174,900	603D	\$179,900	\$174,900	10000	****	
		7 1,500	0030	71/9,300	\$174,900	1002D	\$169,900	\$164,900
205D	\$179,900	\$174,900	604D	\$179,900	\$174,900	10020	£150.000	
	5	·		41/3/300	7174,500	1003D	\$169,900	\$164,900
206D	\$187,900	\$182,900	605D	\$179,900	\$174,900	1004D	¢1.00.000	****
		•	and the same of th	42.0,000	7174,300	10040	\$169,900	\$164,900
301A	\$209,900	\$214,900	606D	\$187,900	\$182,900	1006D	¢1.00.000	
301B	\$229,900	\$224,900		4207,300	7102,300	10000	\$169,900	\$164,900
301C	\$226,900	\$229,900	701D	\$177,900	\$172,900	1007D	¢1.50.000	A
		•		φ1,7,500	7172,300	10070	\$169,900	\$164,900
302A	\$199,900	\$204,900	702D	\$169,900	\$164,900	1008D	Ć177.000	A.m
302B	\$219,900	\$214,900	- Indiana	4100,000	7104,300	10090	\$177,900	\$172,900
302C	\$216,900	\$219,900	703D	\$169,900	\$164,900	11014	ć200.000	4
		,		4 205,500	\$104,500	1101A	\$209,900	\$214,900
303A	\$199,900	\$204,900	704D	\$169,900	\$164,900	1101B	\$229,900	\$224,900
303B	\$219,900	\$214,900		Ŷ205,500	\$104,500	1101C	\$226,900	\$229,900
303C	\$216,900	\$219,900	705D	\$169,900	\$164,900	11074	6400.000	4
		• •	, , ,	7103,500	\$104,500	1102A	\$199,900	\$204,900
304A	\$209,900	\$214,900	706D	\$169,900	\$164,900	1102B	\$219,900	\$214,900
304B	\$229,900	\$224,900	Total Control of the	7103,300	\$104,500	1102C	\$216,900	\$219,900
304C	\$226,900	\$229,900	707D	\$169,900	\$164,900	11074	4400 000	
		, ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	. 0, 5	\$105,500	\$104,300	1103A	\$199,900	\$204,900
401D	\$187,900	\$182,900	708D	\$177,900	\$172,900	1103B	\$219,900	\$214,900
	•	,,,	7000	,7177,500	\$172,900	1103C	\$216,900	\$219,900
402D	\$179,900	\$174,900	801D	\$187,900	¢192.000	44044	***	
	,	, ,,,,,,	0010	7107,300	\$182,900	1104A	\$209,900	\$214,900
403D	\$179,900	\$174,900	802D	\$179,900	¢174.000	1104B	\$229,900	\$224,900
	,	,200	0020	7±13,300	\$174,900	1104C	\$226,900	\$229,900
404D	\$179,900	\$174,900	803D	\$179,900	¢174.000	12045	4407.05	
	•	,,	5555	7113,300	\$174,900	1201D	\$187,900	\$182,900
405D	\$179,900	\$174,900	804D	\$179,900	\$174,900	12020	£170.000	
				+ + 1 2 1 2 2 2 2	7174,300	1202D	\$179,900	\$174,900

12010 5173,300 5174,300 1602A 5193,900 5204,900 5203,900 5214,900 5174,900 5174,900 1607C 5216,500 5219,900 2004HB \$229,900 5224,900 1607C 5216,500 5219,900 2004HB \$229,900 5224,900 1603A 5199,900 5214,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5187,900 5174,900 1603A 529,900 5224,900 5214,900 5187,900 5174,900 5174,900 1604C 5226,900 5224,900 5224,900 5179,900 5174,900 51	1114.44			į					
1204D \$179,900 \$174,900 \$1602C \$216,900 \$214,900 \$219,900 \$204,900 \$224,900 \$174,900 \$174,900 \$1602C \$216,590 \$219,900 \$204,900 \$204,900 \$174,900 \$182,	<u>Unit #</u>	Current Price	New Price	<u>Unit #</u>	Current Price	New Price	<u> Únit #</u>	Current Price	New Price
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1503B \$219,900 \$214,900 1503C \$216,900 \$214,900 1503C \$216,900 \$219,900 1904D \$179,900 \$174,900 2401C \$226,900 \$224,900 1504A \$209,900 \$214,900 1504B \$229,900 \$224,900 1504C \$226,900 \$224,900 1504C \$226,900 \$229,900 1601A \$209,900 \$214,900 1601B \$229,900 \$224,900 1601C \$226,900 \$224,900	1502C	\$216,900	\$219,900	1902D	\$179,900	\$174,900	2306D	\$187,900	\$182,900
1503B \$219,900 \$214,900 1503C \$216,900 \$219,900 1904D \$179,900 \$174,900 2401B \$229,900 \$224,900 1504A \$209,900 \$214,900 1905D \$179,900 \$174,900 2402A \$199,900 \$204,900 1504B \$229,900 \$224,900 2402B \$219,900 \$214,900 1504C \$226,900 \$229,900 1906D \$187,900 \$182,900 2402C \$216,900 \$214,900 1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601B \$229,900 \$224,900 \$224,900 \$2403B \$219,900 \$214,900		\$199,900	\$204,900	1903D	\$179,900	\$174.900	2401Δ	\$209 900	¢34.4.000
1503C \$216,900 \$219,900 1904D \$179,900 \$174,900 2401C \$226,900 \$229,900 1504A \$209,900 \$214,900 1905D \$179,900 \$174,900 2402A \$199,900 \$204,900 1504B \$229,900 \$224,900 2402B \$219,900 \$214,900 1504C \$226,900 \$229,900 1906D \$187,900 \$182,900 2402C \$216,900 \$219,900 1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601B \$229,900 \$224,900 \$2034D \$170,000 \$170,000 \$2403A \$199,900 \$204,900 1601C \$226,900 \$229,900 \$214,900 \$214,900 \$214,900 \$214,900			\$214,900		•	, ,,= 00			
1504A \$209,900 \$214,900 1905D \$179,900 \$174,900 2402A \$199,900 \$204,900 1504B \$229,900 \$224,900 1906D \$187,900 \$182,900 2402C \$216,900 \$214,900 1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601B \$229,900 \$224,900 2403B \$219,900 \$214,900 1601C \$226,900 \$224,900 2403B \$219,900 \$214,900	1503C	\$216,900	\$219,900	1904D	\$179,900	\$174,900			
1504B \$229,900 \$224,900 1504C \$226,900 \$229,900 1906D \$187,900 \$182,900 2402C \$216,900 \$214,900 1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601B \$229,900 \$224,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601C \$226,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601C \$226,900 \$224,900 \$214,900	15044	¢200.000	dan e coc			200		. ,	, === ,===
1504C \$226,900 \$229,900 1906D \$187,900 \$182,900 2402C \$216,900 \$214,900 \$1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 \$1601B \$229,900 \$224,900 \$224,900 \$214,900 \$214,900 \$214,900 \$214,900				1905D	\$179,900	\$174,900			\$204,900
1601A \$209,900 \$214,900 2001HC \$226,900 \$229,900 2403A \$199,900 \$204,900 1601C \$226,900 \$229,900 \$214,900 \$214,900			8	10000	Ć467 000	and the second s			\$214,900
1601B \$229,900 \$224,900 \$204,900 \$214,900 \$214,900 \$214,900	10070	7440j300	7227200	TA0PD	\$187,900	\$182,900	2402C	\$216,900	\$219,900
1601B \$229,900 \$224,900 \$204,900 \$204,900 \$214,900 \$214,900			\$214,900	2001HC	\$226.900	\$229.900	24034	\$100.000	¢204.000
16010 \$226,900 \$229,900 200200 \$470,000			\$224,900		,	7-23,300			
	1601C	\$226,900	\$229,900	2002HD	\$179,900	\$174,900			

<u>Unit #</u>	Current Price	Marri Datas		_		,		
			<u>Unit #</u>	Current Price	New Price	Unit #	Current Price	New Price
2404 <i>A</i> 2404E	. ,	\$214,900	2805D	\$179,900	\$174,900	3303D	\$179,900	\$174,900
24040	,,	\$224,900 \$229,900	2806D	\$187,900	Ć102.000			
		·	2000D	\$107,500	\$182,900	3304D	\$179,900	\$174,900
2501A	. ,	\$214,900	2901D	\$187,900	\$182,900	3305D	\$179,900	\$174,900
2501B 2501C		\$224,900	a condition		,		9175,500	3174,900
23010	\$226,900	\$229,900	2902D	\$179,900	\$174,900	3306D	\$187,900	\$182,900
2502A	\$199,900	\$204,900	2903D	\$179,900	\$174,900	24044	* ****	
2502B	, , , , , ,	\$214,900	200	<i>41,3,300</i>	3174,500	3401A 3401B	\$209,900 \$229,900	\$214,900
2502C	\$216,900	\$219,900	2904D	\$179,900	\$174,900	3401C	\$229,900	\$224,900 \$229,900
2503A	\$199,900	\$204,900	20055	4		That District of the Vision	, ===,200	7223,300
2503B	\$219,900	\$204,900 \$214,900	2905D	\$179,900	\$174,900	3402A	\$199,900	\$204,900
2503C	\$216,900	\$219,900	2906D	\$187,900	Ć102.000	3402B	\$219,900	\$214,900
		, ===,200	25000	\$107,500	\$182,900	3402C	\$216,900	\$219,900
2504A	\$209,900	\$214,900	3001A	\$209,900	\$214,900	3403A	\$199,900	\$204,900
2504B	\$229,900	\$224,900	3001B	\$229,900	\$224,900	3403B	\$219,900	\$204,900 \$214,900
2504C	\$226,900	\$229,900	3001C	\$226,900	\$229,900	3403C	\$216,900	\$219,900
2601A	\$209,900	\$214,900	3002A	¢400.000	4	man roads pulping		,,
2601B	\$229,900	\$224,900	3002A	\$199,900 \$219,900	\$204,900	3404A	\$209,900	\$214,900
2601C	\$226,900	\$229,900	3002B	\$219,900	\$214,900	3404B	\$229,900	\$224,900
		, ,,	30025	7210,500	\$219,900	3404C	\$226,900	\$229,900
2602A	\$199,900	\$204,900	3003A	\$199,900	\$204,900	3501A	\$209,900	6314.000
2602B	\$219,900	\$214,900	3003B	\$219,900	\$214,900	3501B	\$229,900	\$214,900
2602C	\$216,900	\$219,900	3003C	\$216,900	\$219,900	3501C	\$226,900	\$224,900 \$229,900
2603A	\$199,900	\$204,900	3004A	¢200.000	4044.	Response to the second		,,
2603B	\$219,900	\$214,900	3004A	\$209,900 \$229,900	\$214,900	3502A	\$199,900	\$204,900
2603C	\$216,900	\$219,900	3004B	\$226,900	\$224,900	3502B	\$219,900	\$214,900
				<i>4220,300</i>	\$229,900	3502C	\$216,900	\$219,900
2604A	\$209,900	\$214,900	3101D	\$187,900	\$182,900	3503A	\$199,900	\$204,900
2604B 2604C	\$229,900	\$224,900				3503B	\$219,900	\$214,900
20040	\$226,900	\$229,900	3102D	\$179,900	\$174,900	3503C	\$216,900	\$219,900
2701A	\$209,900	\$214,900	3103D	\$179,900	\$174,900	35044	4200	
2701B	\$229,900	\$224,900		42,3,300	J174,300	3504A 3504B	\$209,900	\$214,900
2701C	\$226,900	\$229,900	3104D	\$179,900	\$174,900	35046 3504C	\$229,900 \$226,900	\$224,900
77074	Ć100 000		especial contraction of		<i>+-></i> 1,000	55040	3220,900	\$229,900
2702A 2702B	\$199,900 \$219,900	\$204,900 \$214,900	3105D	\$179,900	\$174,900	3601D	\$187,900	\$182,900
2702C	\$216,900	\$214,900	3106D	\$187,900	6100.000	-		
		, ===,,,,,,	32000	7187,500	\$182,900	3602D	\$179,900	\$174,900
2703A	\$199,900	\$204,900	3201D	\$187,900	\$182,900	3603D	\$179,900	\$174,900
2703B 2703C	\$219,900 \$216,900	\$214,900					4275,500	3174, 3 00
27030	\$210,900	\$219,900	3202D	\$179,900	\$174,900	3604D	\$179,900	\$174,900
2704A	\$209,900	\$214,900	3203D	\$179,900	\$174,900	2005	44.00	
2704B	\$229,900	\$224,900		4213,300	\$174,500	3605D	\$179,900	\$174,900
2704C	\$226,900	\$229,900	3204D	\$179,900	\$174,900	3606D	\$187,900	\$182,900
2801D	\$187,900	¢102.000	200				4207,500	7102,500
20010	7107,500	\$182,900	3205D	\$179,900	\$174,900	3701A	\$209,900	\$214,900
2802D	\$179,900	\$174,900	3206D	\$187,900	Ć192.00¢	3701B	\$229,900	\$224,900
		,	52000	7107,300	\$182,900	3701C	\$226,900	\$229,900
2803D	\$179,900	\$174,900	3301D	\$187,900	\$182,900	3702A	\$199,900	\$204,900
2804D	\$170,000	C174.000				3702B	\$219,900	\$204,900
2004D	\$179,900	\$174,900	3302D	\$179,900	\$174,900	3702C	\$216,900	\$219,900
								•

Unit#	Current Price	New Price
3703A	\$199,900	\$204,900
3703B	\$219,900	\$214,900
3703C	\$216,900	\$219,900
	, ,	7==5/500
3704A	\$209,900	\$214,900
3704B	\$229,900	\$224,900
3704C	\$226,900	\$229,900
		•
3801A	\$209,900	\$214,900
3801B	\$229,900	\$224,900
3801C	\$226,900	\$229,900
3802A	\$199,900	\$204,900
3802B	\$219,900	\$214,900
3802C	\$216,900	\$219,900
3803A	\$199,900	\$204,900
3803B	\$219,900	\$214,900
3803C	\$216,900	\$219,900
3804A	\$209,900	\$214,900
3804B	\$229,900	\$224,900
3804C	\$226,900	\$229,900
		,
3901A	\$209,900	\$214,900
3901B	\$229,900	\$224,900
3901C	\$226,900	\$229,900
3902A	\$199,900	\$204,900
3902B	\$219,900	\$214,900
3902C	\$216,900	\$219,900
20024	¢100.000	4204.000
3903A 3903B	\$199,900	\$204,900
3903C	\$219,900	\$214,900
3303C	\$216,900	\$219,900
3904A	\$209,900	\$214,900
3904B	\$229,900	\$224,900
3904C	\$226,900	\$229,900
		,,5-0