

**FOURTH AMENDMENT TO OFFERING PLAN  
FOR  
CENTRAL SQUARE VILLAS**

**File No. CD 09-0122**

**THIS AMENDMENT WAS ACCEPTED FOR FILING BY THE  
NEW YORK STATE DEPARTMENT OF LAW ON APRIL 12, 2011**

This is the Fourth Amendment to the Offering Plan for Central Square Villas. The Plan was accepted for filing on June 20, 2009. The First Amendment was accepted for filing on October 30, 2009. The Second Amendment was accepted for filing on February 22, 2010. The Third Amendment was accepted for filing on April 14, 2010.

**Status of Closed Sales**

The Sponsor has closed 37 units to date. Since the filing of the Third Amendment, 20 closings have occurred. See attached Exhibit A.

**Unsold Units/Lots**

There are 163 Units/Lots remaining unsold, specifically, Lot Nos. 101-104, 201-206, 301-304, 401-406, 501-504, 601-606, 701-708, 801-806, 901-904, 1001-1008, 1101-1104, 1201-1206, 1301-1305, 1401-1404, 1901, 1902, 1904, 2101-2106, 2201-2204, 2301-2306, 2401-2404, 2501-2504, 2601-2604, 2701-2704, 2801-2806, 2901-2906, 3001-3004, 3101-3106, 3201-3206, 3301-3306, 3401-3404, 3501-3504, 3701, 3702, 3704, 3801-3804 and 3901-3904

**Units/Lots Under Contract**

Of the unsold Units/Lots, there are currently 5 Units/Lots under contract, specifically, Lot Nos. 1201, 1301, 1304, 1904 and 3704.

**Working Capital and Reserve Funds**

The amount of the working capital fund as of March 3, 2011, is \$3,700.00. The amount of the reserve fund as of March 3, 2011, is \$7,688.18. The funds are deposited in a checking account and a savings account, respectively, at KeyBank, 1219 French Road, Depew, New York 14043.

**Board of Managers**

The Sponsor is in control of the Board of Managers. Sponsor will relinquish control of the Board of Managers to the Unit Owners at the first annual meeting of the Unit Owners, which meeting shall be held within thirty (30) days after the transfer of title to 50% of the Units or if sooner, five (5) years after transfer of title to the first Unit. The Board of Managers is presently comprised of the following individuals:

The name and business address of the President is John Manns (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

The name and business address of the Vice President/Treasurer is Michael Kreamer (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

The name and business address of the Secretary is Dave DePaolo (Vice President of Sponsor), 2730 Transit Road, West Seneca, New York 14224.

**First Meeting of Unit Owners**

The first meeting of the Unit Owners has not occurred.

**Common Charges**

The aggregate monthly common charges for units/lots held by the Sponsor is \$23,716.50. Payment of common charges shall come from the Sponsor's own funds.

**Real Estate Taxes**

The aggregate monthly real estate taxes payable for units/lots owned by the Sponsor is \$1,618.05. Separate real estate taxes will not be assessed until a unit is built and title to the unit has closed. Payment of taxes comes from the Sponsor's own funds.

**Financial Statements**

Attached hereto as Exhibit B are the Financial Statements for Central Square Villas for the year ending December 31, 2010.

**Leased Units**

There are no units owned by the Sponsor which are occupied by tenants.

**Financial Obligations of Sponsor/Sources**

There are currently no repair and improvement obligations of the Sponsor. The Sponsor will pay its obligations for unsold units out of its own funds. The Sponsor is current in all financial obligations relating to the Condominium.

**Other Condominiums and Homeowners Associations**

Following is a list of all other condominiums and homeowners associations in which the Sponsor and/or the principal of the Sponsor currently owns more than 10% of the units:

Country Meadows (File No. CD 07-0377)  
Foxcroft Drive and Crownview Terrace, Hamburg, Erie County, New York 14075

Greythorne by Marrano (File No. CD 07-0577)  
6330-6350 Main Street, Amherst, Erie County, New York 14221

Hickory Grove Village Condominium (File No. CD 06-0258)  
211 French Road, Cheektowaga, Erie County, New York 14227

Laurel Park Condominium (File No. CD 05-0491)  
5831 Transit Road, Clarence, Erie County, New York 14032

Springbrook Shores Homeowners Association, Inc. (File No. H 05-0018)  
Rice Road, Elma, Erie County, New York 14059

Summerfield Farms Phase IV Homeowners Association (File No. HO 06-0054)  
Avian Way, Lancaster, Erie County, New York 14086

The Courtyard at Pleasant Meadows (File No. CD 07-0185)  
Pleasant View Drive and Juniper Boulevard, Lancaster, Erie County, New York  
14086

Woodstream Estates Homeowners Association, Inc. (File No. HO 05-0078)  
Rogers Road, Hamburg, Erie County, Hamburg, New York 14075

The Offering Plans for the above are on file with the New York State Office of the Attorney General and are available for public inspection. The Sponsor is current in all financial obligations relating to the foregoing.

### **Material Changes**

1. The unsold Units or Lots have been subjected to two (2) mortgages as of August 31, 2010. Specifically, the Sponsor has granted a blanket mortgage to First Niagara Bank, N.A. covering premises and more in the principal amount of \$18,000,000.00. In addition, Sponsor has granted a second blanket mortgage to First Niagara Bank, N.A. in the amount of \$17,741,143.00 covering unsold units and more. The mortgages were granted to secure existing credit facilities.
2. The Declaration as originally submitted and filed with the Office of the Erie County Clerk and the NYS Attorney General's Office did not contain the applicable and required Fannie Mae provisions. The Declaration was re-recorded with the Erie County Clerk to reflect the corrections which were inadvertently omitted in the original submission. A copy of the changes to the recorded Declaration is attached hereto as Exhibit C.
3. The plans and specifications for the clubhouse are changed from the time of the initial submission. Attached hereto as Exhibit D are the revised drawings and specifications for the Central Square Villas Clubhouse.
4. The Sponsor has made changes to the Specifications and Drawings for the Cambridge, Livingston, Winston and York units/buildings as shown on the attached specifications, drawings and Engineers Report (dated as of March 3, 2011) all of which are attached hereto as Exhibit E.
5. The above referenced plans and specifications also reference a square footage change as further detailed in the attached revised Schedule A, revised footnotes to Schedule A, RPS letter dated April 27, 2009 and revised Schedule B-1. See attached Exhibit F.
6. This is a price change amendment affecting the units referenced on the price change summary, attached as Exhibit G.

### **No Other Material Changes**

There are no other material changes of facts or circumstances affecting the property or the state of facts set forth in the original Offering Plan except as indicated herein.

**THE MARRANO/MARC EQUITY CORPORATION**

# **Exhibit A**

1. Lot 1805, 28 Hanover Street, Lancaster New York Closed 4/16/10
2. Lot 2004, 2 Hanover Street, Lancaster, New York Closed 4/30/10
3. Lot 3605, 45 Hanover Street, Lancaster, New York Closed 6/16/10
4. Lot 2002, 6 Hanover Street, Lancaster, New York Closed 6/22/10
5. Lot 1701, 48 Hanover Street, Lancaster, New York Closed 6/24/10
6. Lot 1704, 42 Hanover Street, Lancaster, New York Closed 6/24/10
7. Lot 3703, 33 Hanover Street, Lancaster, New York Closed 6/25/10
8. Lot 1702, 46 Hanover Street, Lancaster, New York Closed 6/28/10
9. Lot 1601, 56 Hanover Street, Lancaster, New York Closed 6/29/10
10. Lot 1703, 44 Hanover Street, Lancaster, New York Closed 6/30/10
11. Lot 1705, 40 Hanover Street, Lancaster, New York Closed 6/30/10
12. Lot 1706, 38 Hanover Street, Lancaster, New York Closed 6/30/10
13. Lot 2001, 8 Hanover Street, Lancaster, New York Closed 7/15/10
14. Lot 1603, 52 Hanover Street, Lancaster, New York Closed 8/19/10
15. Lot 1906, 10 Hanover Street, Lancaster, New York Closed 9/28/10
16. Lot 1502, 62 Hanover Street, Lancaster, New York Closed 10/8/10
17. Lot 1905, 12 Hanover Street, Lancaster New York Closed 10/8/10
18. Lot 1903, 16 Hanover Street, Lancaster, New York Closed 10/29/10
19. Lot 1504, 58 Hanover Street, Lancaster, New York Closed 11/1/10
20. Lot 1306, 74 Hanover Street, Lancaster, New York Closed 12/29/10

# **Exhibit B**

**CENTRAL SQUARE VILLA CONDOMINIUM**

**FINANCIAL STATEMENTS**

**For the year ended December 31, 2010**

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David M. Lorka  
Certified Public Accountant

DAVID M. LORKA  
CERTIFIED PUBLIC ACCOUNTANT  
664 Center Road  
West Seneca, New York 14224

INDEPENDENT ACCOUNTANT'S REVIEW REPORT

Board of Managers  
Central Square Villa Condominium

I have reviewed the accompanying balance sheet of Central Square Villa Condominium as of December 31, 2010 and the related statements of revenues, expenses and changes A review includes primarily applying analytical procedure to management's financial data and making inquires of the Association's management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, I do not express such an opinion.

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America and for the designing, implementing and maintaining internal control relevant to the preparation and fair presentation of the financial statements.

My responsibility is to conduct the review in accordance with Statements on Standards for Accounting and Review issued by the American Institute of Certified Public Accountants. Those standards require me to preform procedures to obtain limited assurance that there are no material modifications that should e made to the financial statements. I believe that the results of my procedures provide a reasonable basis for my report.

Based on my review, I am not aware of any material modification that should be made to the accompanying financial statements in order for them to be in conformity with accounting principles generally accepted in the United States of American.

The Association has not presented the required supplementary information about future major repairs and replacements costs of common property, which the American Institute of Certified Public Accountants has determined is required to supplement, although not required to be part of the basic financial

February 3, 2011

*David M. Lorka*



## CENTRAL SQUARE VILLA CONDOMINIUM

## Balance Sheet

As of December 31, 2010  
 With Comparative Totals for 2009  
 See Independent Accountant's Review Report

	<u>Operating Fund</u>	<u>Reserve Fund</u>	<u>2010 Total</u>	<u>2009 Total</u>
<u>ASSETS</u>				
Cash	\$(2,581)	\$19,209	\$16,628	\$(1,675)
Prepaid insurance	4,389	-	4,389	722
Interfund balances	<u>11,521</u>	<u>(11,521)</u>	<u>-</u>	<u>-</u>
	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$ ( 953)</u>
<u>LIABILITIES</u>				
Advanced payments-developer	\$ 6,298	\$ -	\$ 6,298	\$(1,953)
Accounts payable	<u>3,331</u>	<u>-</u>	<u>3,331</u>	<u>-</u>
	<u>9,629</u>	<u>-</u>	<u>9,629</u>	<u>(1,953)</u>
Fund balances	<u>3,700</u>	<u>7,688</u>	<u>11,388</u>	<u>1,000</u>
Total liabilities and fund balances	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$ ( 953)</u>

The accompanying notes are an integral part of  
 the financial statement.

## CENTRAL SQUARE VILLA CONDOMINIUM

## Statement of Revenues, Expenses and Changes in Fund Balance

For the year ended December 31, 2010  
 With Comparative Totals for 2009  
 See Independent Accountant's Review Report

	<u>Operating Fund</u>	<u>Reserve Fund</u>	<u>2010 Total</u>	<u>2009 Total</u>
<u>REVENUES</u>				
Interest	\$ 8	\$ -	\$ 8	\$ -
Rent	<u>200</u>	<u>-</u>	<u>200</u>	<u>-</u>
Total revenues	<u>208</u>	<u>-</u>	<u>208</u>	<u>-</u>
<u>EXPENSES</u>				
Administrative -				
Management	10,800	-	10,800	1,800
Insurance	13,979	-	13,979	2,131
Professional	100	-	100	-
Miscellaneous	185	-	185	133
Utilities -				
Electric	2,636	-	2,636	-
Water	8,516	-	8,516	-
Gas	1,286	-	1,286	-
Cable	969	-	969	-
Maintenance -				
Landscaping	5,394	-	5,394	-
Clubhouse	865	-	865	-
Pool maintenance	8,537	-	8,537	-
Repairs	368	-	368	4,999
Snow removal	<u>17,737</u>	<u>-</u>	<u>17,737</u>	<u>-</u>
Total expenses	<u>71,372</u>	<u>-</u>	<u>71,372</u>	<u>9,063</u>
Excess (deficit) of revenues over expenses	(71,164)	-	(71,164)	( 9,063)
Beginning fund balances	1,000	-	1,000	-
Working capital contributions	2,700	-	2,700	1,000
Developer contributions	<u>71,164</u>	<u>7,688</u>	<u>78,852</u>	<u>9,063</u>
Ending fund balances	<u>\$ 3,700</u>	<u>\$ 7,688</u>	<u>\$11,388</u>	<u>\$ 1,000</u>

The accompanying notes are an integral part of  
 the financial statements.

## CENTRAL SQUARE VILLA CONDOMINIUM

## Statement of Cash Flows

For the year ended December 31, 2010  
 With Comparative Totals for 2009  
 See Independent Accountant's Review Report

	<u>Operating Fund</u>	<u>Reserve Fund</u>	<u>2010 Total</u>	<u>2009 Total</u>
Cash flows from operating activities				
Excess (deficiency) of revenues or expenses	\$(71,164)	\$ -	\$(71,164)	\$( 9,063)
Adjustments to reconcile excess (deficit) of revenues over expenses to net cash provided by operating activities:				
(Increase) decrease in:				
Prepaid insurance	( 3,667)	-	( 3,667)	( 722)
Increase (decrease) in:				
Advance payments-developer	8,251	-	8,251	( 1,953)
Accounts payable	<u>3,331</u>	<u>-</u>	<u>3,331</u>	<u>-</u>
Net cash provided (used) by operating activities	<u>(63,249)</u>	<u>-</u>	<u>(63,249)</u>	<u>(11,738)</u>
Cash flows from financing activities				
Interfund borrowing	(11,521)	11,521	-	-
Working capital contributions	2,700	-	2,700	1,000
Developer contribution	<u>71,164</u>	<u>7,688</u>	<u>78,852</u>	<u>9,063</u>
Net cash provided (used) by financing activities	62,343	19,209	18,303	10,063
Net increase (decrease) in cash	( 906)	19,209	8,552	( 1,675)
Cash at beginning of year	<u>( 1,675)</u>	<u>-</u>	<u>( 1,675)</u>	<u>-</u>
Cash at end of year	<u><u>\$( 2,581)</u></u>	<u><u>\$19,209</u></u>	<u><u>\$16,628</u></u>	<u><u>\$( 1,675)</u></u>

The accompanying notes are an integral part of  
 the financial statements.

## CENTRAL SQUARE VILLA CONDOMINIUM

## Notes to Financial Statements

December 31, 2010

See Independent Accountant's Review Report

## Note 1 - Organization:

Central Square Villa Condominium, (the Association) is an unincorporated statutory condominium association organized in the State of New York for the purpose maintaining and preserving common property of the Association. Central Square Villa Condominium consists of 37 units as of December 31, 2010

## Note 2 - Summary of Significant Accounting Policies:

(A) The Association uses fund accounting, which requires that funds, such as operating funds and funds designed for future major repairs and replacements, be classified separately for accounting and reporting purposes. Disbursements from the operating fund are generally at the discretion of the Board of Directors. Disbursements from the reserve fund may be made only for their designated purposes.

(B) The Board has a policy to allocate interest earned on cash and investment accounts to the operating fund and the reserve fund.

(C) The Association has elected under provisions of the Internal Revenue Code and state income tax statutes to be excluded from taxes on exempt function income. However the Association is subject to taxes on non exempt function income in excess of non-exempt function expenses.

## Note 3 - Assessments:

The Developer is currently reimbursing the Association for all costs.

## CENTRAL SQUARE VILLA CONDOMINIUM

## Notes to Financial Statements, Continued

December 31, 2010

See Independent Accountant's Review Report

## Note 4 - Future Major Repairs and Replacements:

The Association's governing documents require that funds be accumulated for future major repairs and replacements. Accumulated funds are being held in separate accounts and are generally not available for expenses for normal activities.

The developer is not funding for major repairs and replacements.

Funds are being accumulated in the reserve fund based on estimates of future needs for repairs and replacements of common property components. Actual expenses may vary from the estimated future expenses and the variations may be material. Therefore, amounts accumulated in the reserve fund may not be adequate to meet all future needs for major repairs and replacements.

## Note 5 - Income Taxes:

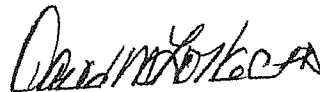
The Association has elected to file as a homeowner's association in accordance with Internal Revenue Section 528. Under this section, the Condominium excludes from taxation exempt function income, which generally consists of revenue from uniform assessments to owners. The Condominium's investment income and other non-exempt income was subject to tax.

DAVID M. LORKA  
CERTIFIED PUBLIC ACCOUNTANT  
664 Center Road  
West Seneca, New York 14224

INDEPENDENT ACCOUNTANT'S REPORT ON  
SUPPLEMENTAL FINANCIAL INFORMATION

Board of Managers  
Central Square Villa Condominium

The accompanying supplemental schedule of changes in Reserve Fund balance for the year ended December 31, 2010 is presented only for analytical purposes and has not been subjected to the inquiry and analytical procedures applied in the review of the basis financial statements. All information included in the schedule is the representation of the management of Central Square Villa Condominium. I did not become aware of any material modifications that should be made to this supplemental information.



February 3, 2011

## CENTRAL SQUARE VILLA CONDOMINIUM

## Schedule of Changes in Reserved Fund Balance

December 31, 2010

See Independent Accountant's Review Report

<u>Description</u>	<u>Beginning Fund Balance</u>	<u>Additions to Fund</u>	<u>Charges to Fund</u>	<u>Other</u>	<u>Ending Fund Balance</u>
Sewer-water	\$ -	\$ -	\$ -	\$ 342	\$ 342
Gutters	-	-	-	176	176
Roof	-	-	-	2,843	2,843
Roadway resurface	-	-	-	716	716
Exterior wood	-	-	-	536	536
Brick	-	-	-	167	167
Siding	-	-	-	1,545	1,545
Mailbox	-	-	-	21	21
Fence	-	-	-	129	129
Street light	-	-	-	112	112
Tot lot	-	-	-	172	172
Concrete	-	-	-	501	501
Pool	-	-	-	274	274
Clubhouse	-	-	-	154	154
	<u>\$ -</u>	<u>\$ -</u>	<u>\$ -</u>	<u>\$ 7,688</u>	<u>\$ 7,688</u>

## CENTRAL SQUARE VILLA CONDOMINIUM

## Balance Sheet

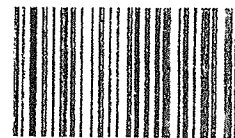
As of December 31, 2010  
 With Comparative Totals for 2009  
 See Independent Accountant's Review Report

	<u>Operating Fund</u>	<u>Reserve Fund</u>	<u>2010 Total</u>	<u>2009 Total</u>
<u>ASSETS</u>				
Cash	\$(2,581)	\$19,209	\$16,628	\$(1,675)
Prepaid insurance	4,389	-	4,389	722
Interfund balances	<u>11,521</u>	<u>(11,521)</u>	<u>-</u>	<u>-</u>
	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$ ( 953)</u>
 <u>LIABILITIES</u>				
Advanced payments-developer	\$ 6,298	\$ -	\$ 6,298	\$(1,953)
Accounts payable	<u>3,331</u>	<u>-</u>	<u>3,331</u>	<u>-</u>
	<u>9,629</u>	<u>-</u>	<u>9,629</u>	<u>(1,953)</u>
Fund balances	<u>3,700</u>	<u>7,688</u>	<u>11,388</u>	<u>1,000</u>
Total liabilities and fund balances	<u>\$13,329</u>	<u>\$ 7,688</u>	<u>\$21,017</u>	<u>\$ ( 953)</u>

The accompanying notes are an integral part of  
 the financial statement.



# **Exhibit C**


**ERIE COUNTY CLERKS OFFICE**
**County Clerk's Recording Page**
Return To:

BOX 85

Book: 11182 Page: 2524

Page Count: 198

Doc Type: DECLARATION

Rec Date: 05/21/2010

Rec Time: 11:19:46 AM

Control #: 2010090052

User ID: nk

Trans Num: 894572

DEED SEQ:

MTG SEQ:

UCC:

SCAR:

INDEX:

Party 1:

**MARRANO/MARC EQUITY CORPORATION (THE)**

Party 2:

**CENTRAL SQUARE VILLAS**
**Recording Fees:**

RECORDING	\$1,010.50
COE CO \$1 RET	1.00
COE STATE \$14.25 GEN	\$14.25
COE STATE \$4.75 RM	\$4.75

**Consideration Amount: \$0.00**

BASIC	\$0.00
SONYMA	\$0.00
ADDL	\$0.00
NFTA MT	\$0.00
TRANSFER	\$0.00
NFTA TT	\$0.00

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**Total: \$1,030.50**

 STATE OF NEW YORK  
 ERIE COUNTY CLERK'S OFFICE

 WARNING - THIS SHEET CONSTITUTES THE CLERK'S ENDORSEMENT,  
 REQUIRED BY SECTIONS 319&316-a (5) OF THE REAL PROPERTY LAW  
 OF THE STATE OF NEW YORK. DO NOT DETACH. THIS IS NOT A BILL.

 Kathleen C. Hochul  
 County Clerk

**ERIE COUNTY CLERKS OFFICE**  
**County Clerk's Recording Page**

Return To:  
BOX 85

Book: 11170 Page: 8656

Page Count: 183

Doc Type: **DECLARATION**

Rec Date: 10/07/2009

Rec Time: 02:45:35 PM

Control #: 2009202291

User ID: dm

Trans Num: 786879

DEED SEQ:

MTG SEQ:

UCC:

SCAR:

INDEX:

Party 1:  
**MARRANO/MARC EQUITY CORPORATION**

Party 2:  
**CENTRAL SQUARE VILLAS**

**Recording Fees:**

RECORDING	\$935.00
COE CO \$1 RET	1.00
COE STATE \$14.25 GEN	\$14.25
COE STATE \$4.75 RM	\$4.75

**Consideration Amount:**

	<b>\$0.00</b>
BASIC	\$0.00
SONYMA	\$0.00
ADDL	\$0.00
NFTA MT	\$0.00
TRANSFER	\$0.00
NFTA TT	\$0.00

**Total: \$955.00**

STATE OF NEW YORK  
ERIE COUNTY CLERK'S OFFICE

WARNING - THIS SHEET CONSTITUTES THE CLERK'S ENDORSEMENT,  
REQUIRED BY SECTIONS 319&316-a (5) OF THE REAL PROPERTY LAW  
OF THE STATE OF NEW YORK. DO NOT DETACH. THIS IS NOT A BILL.

Kathleen C. Hochul  
County Clerk

*\*RE-RECORD - (see pg 2)*

*781-197-1*

This Declaration of Condominium and of Restrictive Covenants, Conditions, Restrictions, Easements, Charges and Liens for Central Square Villas is being re-recorded for the for the following reason:

The document when originally recorded contained several incorrect provisions. The correct provisions are attached hereto and shall be incorporated into the recorded document as if originally recorded on October 7, 2009, in Liber 11170 of Deeds at page 8656 ✓

### **Article III – Description of Buildings**

**Section 3.01 Buildings.** This section is amended to remove the reference to a “Subdivision Map” filed in Erie County. No such map is or will be filed in the Erie County Clerk’s Office.

### **Article IV – The Units**

**Section 4.01 Designation of Units** This section is amended to remove the reference to a subdivision map.

The following language shall be inserted:

“The following surveys are attached to the Declaration to show final “as built” surveys of the following Buildings and Units:

- Building Number 15 by GPI, Job Number 3697-58-64, containing Units 1501, 1502, 1503 and 1504
- Building Number 16 by GPI, Job Number 3697-50-56, containing Units 1601, 1602, 1603 and 1604
- Building Number 17 by GPI, Job Number 3697-38-48, containing Units 1701, 1702, 1703, 1704, 1705 and 1706
- Building Number 18 by GPI, Job Number 3697-22-36, containing Units 1801, 1802, 1803, 1804, 1805, 1806, 1807 and 1808
- Building Number 20 by GPI, Job Number 3697-2-8, containing Units 2001, 2002, 2003 and 2004
- Building Number 36 by GPI, Job Number 3697-37-47, containing Units 3601, 3601, 3602, 3604, 3605 and 3606
- Building No. 37 by GPI Job Number 3697-29-35, containing Units 3701, 3702, 3703 and 3704.

**Section 4.06 Lot** The definition of “Lot” is amended to remove the reference to Subdivision Lot and shall instead mean and refer to the real property directly under a Unit

### **Article V Common Elements**

**Section 5.04 Eminent Domain** – The following subsection shall be inserted:

(e) Notice to Mortgagee The Board of Managers shall provide timely written notice of said condemnation referenced in section 5.04(c) to each holder of a

mortgage covering any affected Unit or any portion thereof, whose name and address has heretofore been furnished to the Board of Managers

### **Article IX – Common Charges**

#### **Section 9.03 Unpaid Common Charges – Personal Obligation of Unit Owner and Lien on Unit**

The following language shall be inserted following the last paragraph in this section:

“Notwithstanding the foregoing, any first mortgagee who obtains title to a Unit pursuant to the remedies in the mortgage or through foreclosure will not be liable for more than six (6) month’s of the Units unpaid regularly budgeted common charges accrued before the acquisition of title to the Unit by the Mortgagee. Such first Mortgagee will be liable for any fees or costs related to the collection of unpaid common charges.”

#### **Section 9.04 Date of Commencement and Notice of Assessments**

The following language shall be inserted following the first paragraph in this section:

“The Board of Managers, when giving notice to a unit owner of a default in paying common charges shall send a copy of such notice to each holder of a mortgage covering such unit whose name and address has heretofore been furnished to the Board of Managers. The mortgagee shall have the right to cure the Unit Owner’s default with respect to the payment of common charges or other default of the Unit Owner which could result in a lien against the Unit of such Owner.”

### **Article XI - Obligations, Responsibilities Covenants and Restrictions**

The following two Sections shall be inserted following Section 11.06

**11.07 Right of Unit Owners to sell units** A Unit Owner has the right to sell transfer or otherwise convey his/her Unit to an eligible buyer without the Condominium Board of managers having a the right of first refusal to first

review and approve or refuse the buyer. The Condominium Board of Managers does not maintain a right of first refusal.

**11.08 Rights of Mortgage Holders and Guarantors.** The mortgagee and any guarantor of the mortgage on any unit shall have the right to timely written notice of (i) any condemnation or casualty loss that affects either a material portion of the Property or the Unit securing the mortgage; (ii) any 60 day delinquency in the payment of assessments or common charges owed by the Owner of any Unit on which it holds a mortgage, (iii) a lapse cancellation or material modification of any insurance policy maintained by the Condominium; and (iv) any proposed action that requires the consent of a specified percentage of mortgagees.

No Unit Owner or any party shall have priority over any rights of the first mortgagee of a unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements.

#### Article XII - Amendment and Termination of Declaration

The following section shall be inserted following Section 12.01(e)

#### **12.01 (f) Amendment to Documents:**

Notwithstanding the foregoing sections(a) through (e) inclusive, the following shall apply: (i) any amendment of a material adverse nature to Eligible Mortgage Holders must be agreed to by said Eligible Mortgage Holders that represent at least 51% of the votes of units that are subject to the mortgages (ii) any action to terminate the legal status of the condominium project after substantial destruction or condemnation , or for other reasons, must be agreed to by Eligible Mortgage Holders that represent at least 51% of the votes of the units that are subject to the mortgages, and (iii) if an Eligible Mortgage Holder fails to submit a response to any written proposal for an amendment within 60 days after it receives proper notice of the proposal, *provided that notice was delivered by certified or registered mail, with return receipt requested*, then approval is deemed to be implied.

**Schedule B to Declaration: Description of the Buildings**

The last line shall be amended to remove the reference to "Subdivision."

**Schedule D to Declaration: The By-Laws**

**Article V – Common Charges and Assessment**

**Section 5.02 Collection of Assessments**

The following language shall be inserted following the last paragraph in this section:

"Notwithstanding the foregoing, any first mortgagee who obtains title to a Unit pursuant to the remedies in the mortgage or through foreclosure will not be liable for more than six (6) month's of the Units unpaid regularly budgeted common charges accrued before the acquisition of title to the Unit by the Mortgagee. Such first Mortgagee will be liable for any fees or costs related to the collection of unpaid common charges."

**Section 5.04 Notice of Default**

The language: "at request of any mortgagee," shall be stricken

**Article VIII - Insurance**

**Section 8.01 Insurance obtained by Board of Managers**

The third paragraph in subsection (1) shall be stricken in its entirety and shall be replaced with the following:

"The proceeds of all policies of physical damage insurance shall be payable to the Board of Managers or to an insurance trustee (bank, trust company, law firm or attorney) selected by the Board of Managers to be applied for the purposes of repairing, restoring or rebuilding unless otherwise determined by the Unit Owners as hereinafter set forth. However, no unit owner or any other party shall have priority over any rights of the first mortgagee of a Unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements."



Article IX – Selling, Mortgaging and Leasing of Units

Section 9.04 shall be inserted following Section 9.03:

**“Section 9.04 Rights of Mortgage Holders and Guarantors** The mortgagee and any guarantor of the mortgage on any unit shall have the right to timely written notice of (i) any condemnation or casualty loss that affects either a material portion of the Property or the Unit securing the mortgage; (ii) any 60 day delinquency in the payment of assessments or common charges owed by the Owner of any Unit on which it holds a mortgage, (iii) a lapse cancellation or material modification of any insurance policy maintained by the Condominium; and (iv) any proposed action that requires the consent of a specified percentage of mortgagees.

No Unit Owner or any party shall have priority over any rights of the first mortgagee of a unit pursuant to its mortgage in the case of payment to the Unit Owner of insurance proceeds or condemnation awards for losses to or a taking of Units and/or common elements.”

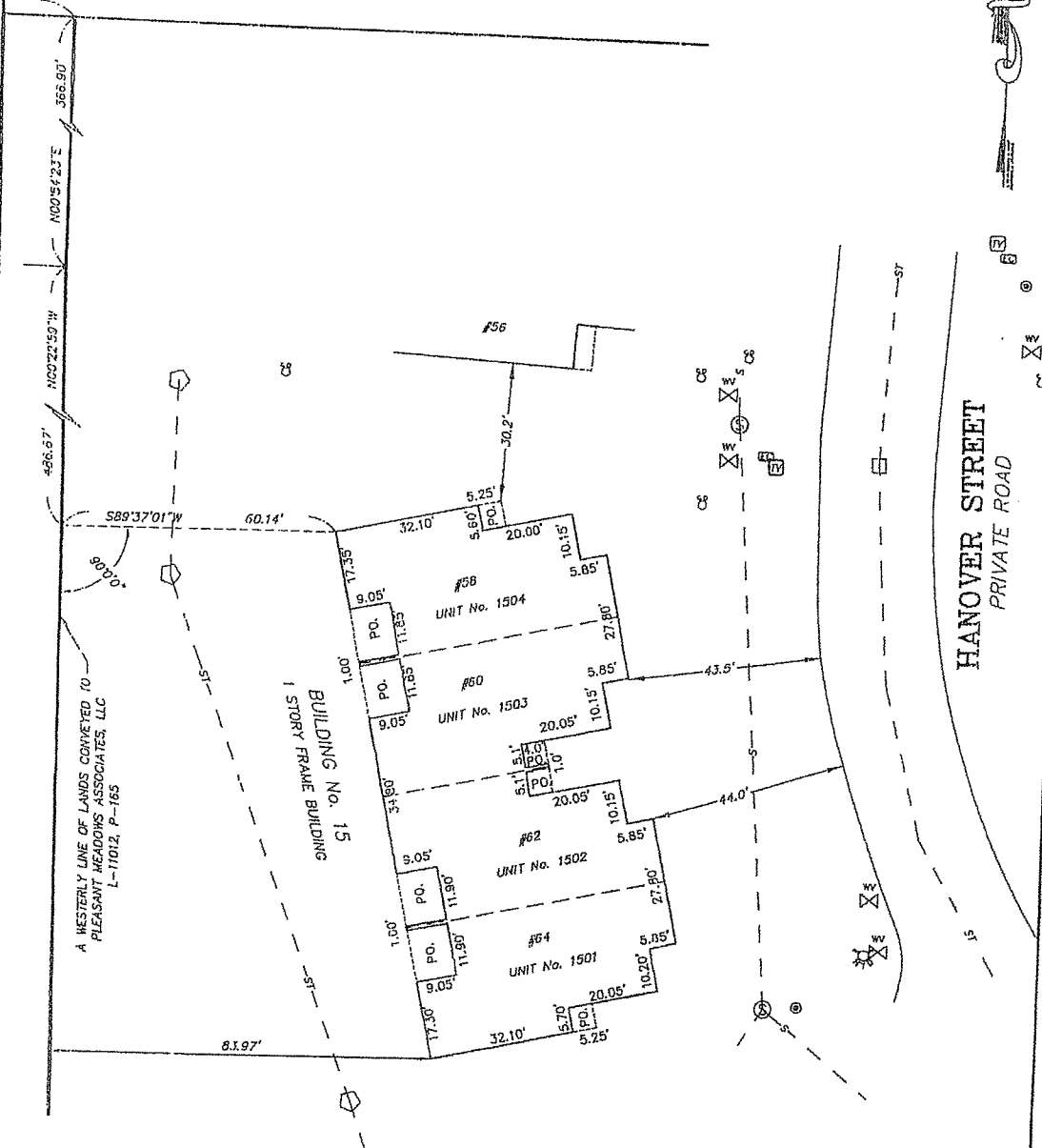
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NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

• SET OR EX. 5/8" REBAR

632.79' TO THE WEST LINE OF LOT 12

PLEASANT VIEW (66' WIDE) DRIVE



A WESTERLY LINE OF LANDS CONVEYED TO PLEASANT MEADOWS ASSOCIATES, LLC L-11012, P-165

HANOVER STREET PRIVATE ROAD

SURVEY OF  
PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
HOLLAND LAND SURVEY  
TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

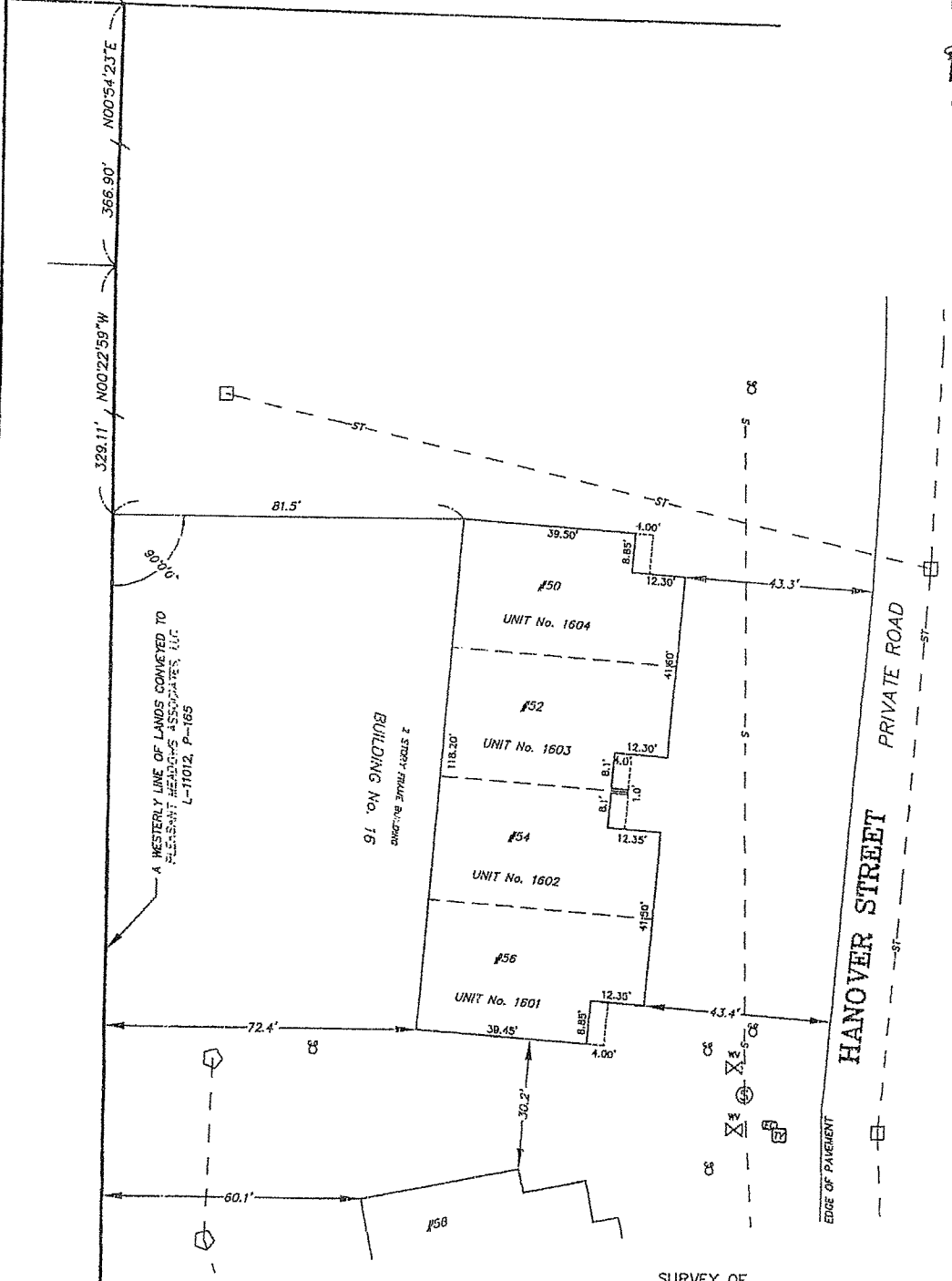
**GPI ENGINEERING & SURVEYING, LLP**  
FORMERLY PRATT & HUTH ASSOCIATES, LLP  
ENGINEERING • SURVEYING • PLANNING  
4950 CENESEE STREET, SUITE 185  
BUFFALO, NEW YORK 14225  
(716) 633-4844 FAX 633-4940

Job No. 3697-58-64      Date: MARCH 23, 2010  
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PLEASANT VIEW (66' WIDE) DRIVE

632.79' TO THE WEST LINE OF LOT 12



SURVEY OF  
 PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
 HOLLAND LAND SURVEY  
 TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

*[Handwritten signature]*

DATE	REVISION/TYPE

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**GPI ENGINEERING & SURVEYING, LLP**  
 FORMERLY PRATT & HUTH ASSOCIATES, LLP  
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 4990 GENESEE STREET, SUITE 165  
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Job No. 3697-50-56 Date: MARCH 22, 2010  
 Scale 1" = 30' Tax No.

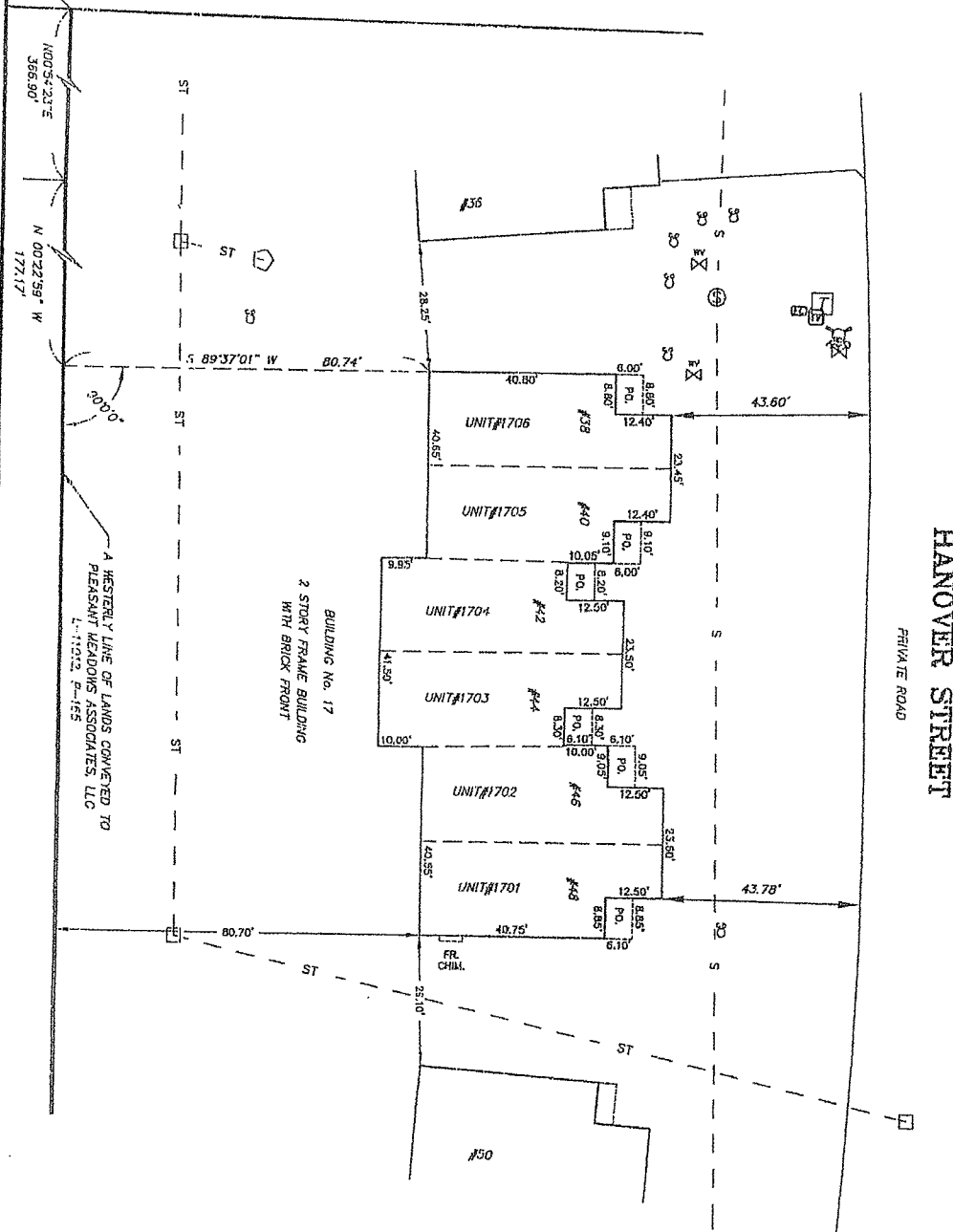
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NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

• SET OR EX. 5/8" REBAR

632.79' TO THE WEST  
LINE OF LOT 12

PLEASANT VIEW (66' WIDE) DRIVE



HANOVER STREET  
PRIVATE ROAD

A WESTERN LINE OF LANDS CONVEYED TO  
PLEASANT MEADOWS ASSOCIATES, LLC  
L-11912, P-165

BUILDING No. 17  
2 STORY FRAME BUILDING  
WITH BRICK FRONT

*Great*

SURVEY OF  
PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
HOLLAND LAND SURVEY  
TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

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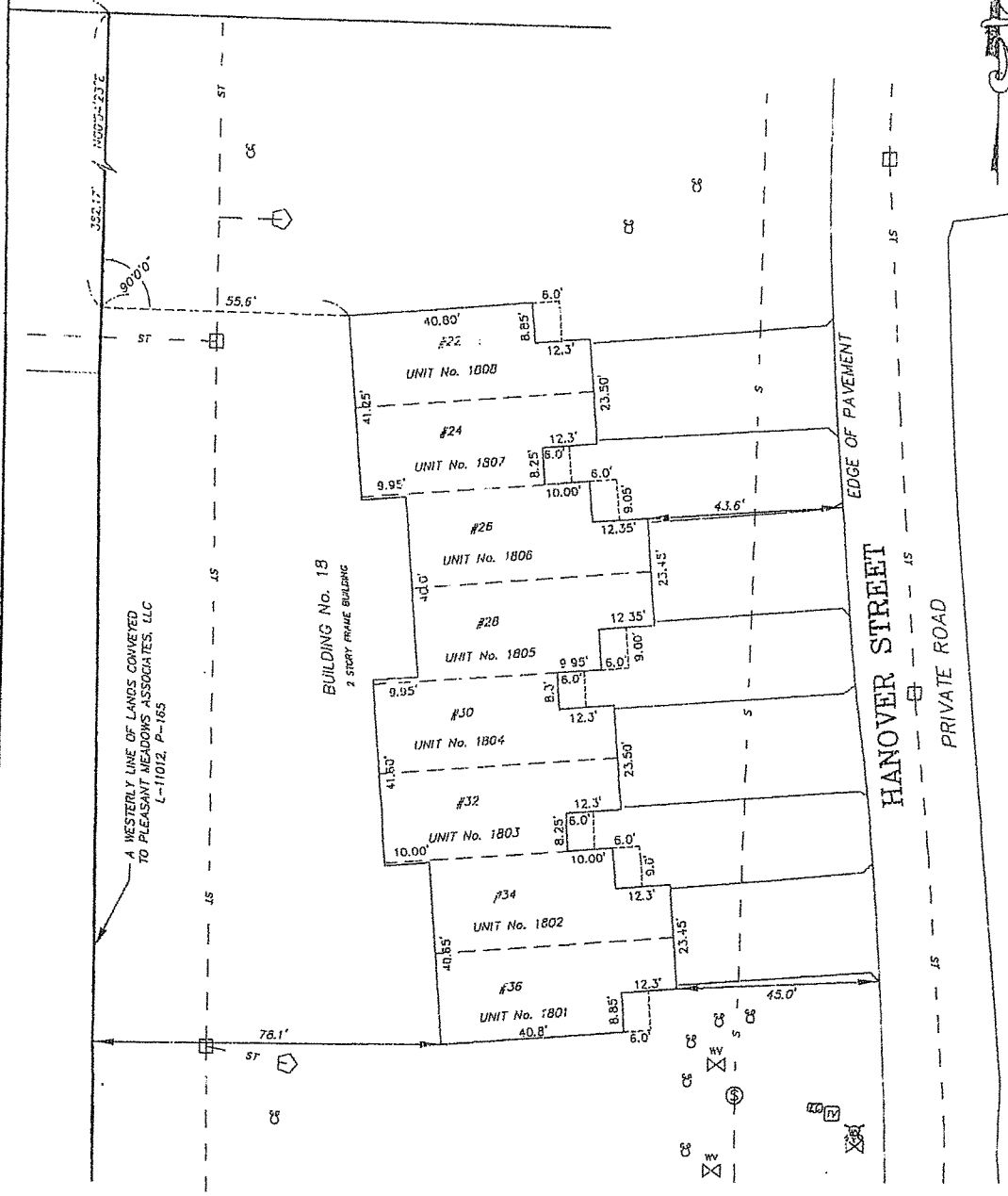
Job No. 3697-38-48 Date: APRIL 22, 2010  
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# PLEASANT VIEW (66' WIDE) DRIVE

832.79' TO THE WEST  
LINE OF LOT 12



SURVEY OF  
PART OF LOT 12, SECTION B, TOWNSHIP 11, RANGE 6  
HOLLAND LAND SURVEY  
TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

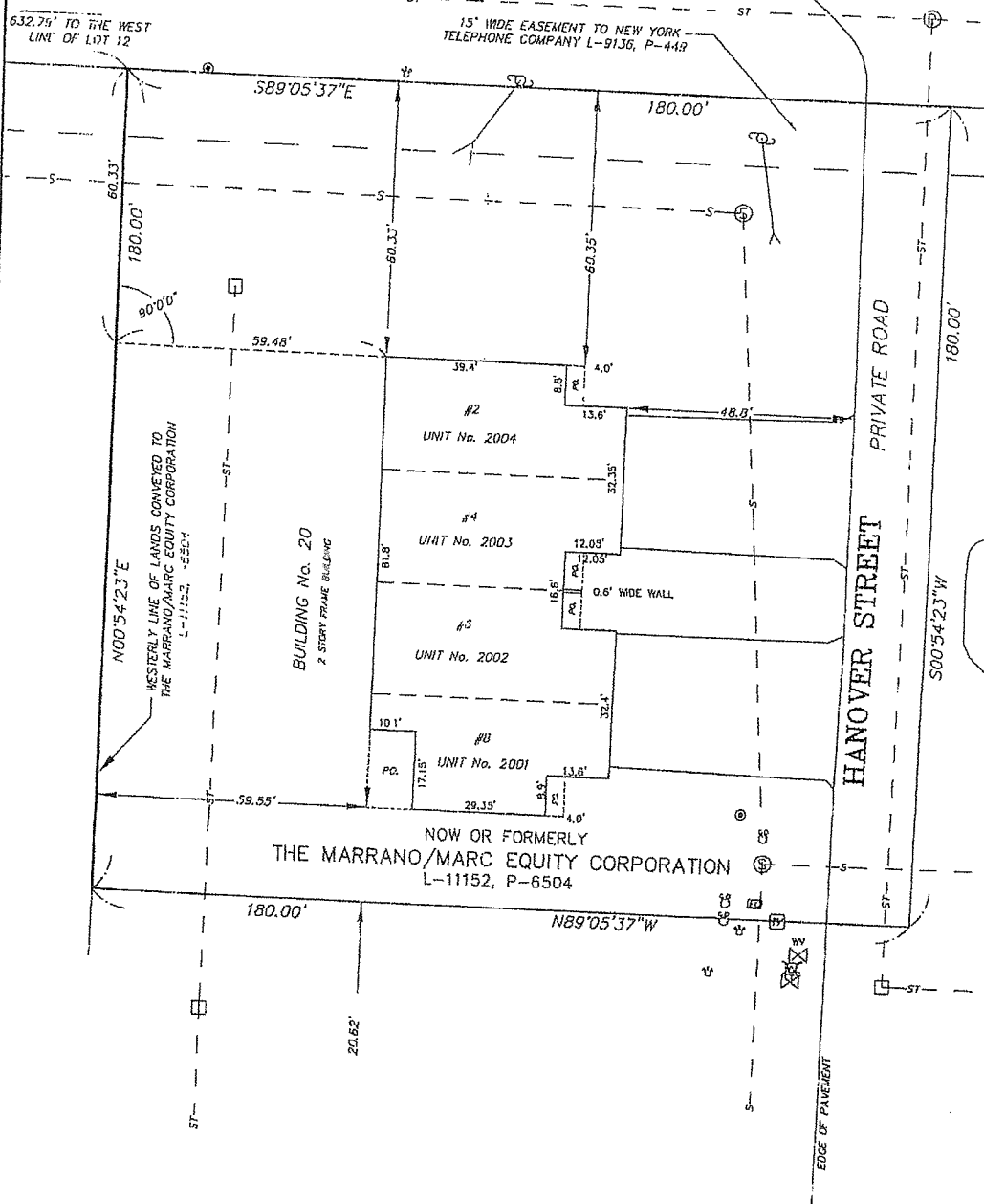
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4950 DENESHEE STREET, SUITE 155  
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PLEASANT VIEW (66' WIDE) DRIVE



*[Handwritten signature]*

SURVEY OF  
 PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
 HOLLAND LAND SURVEY  
 TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

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 (716) 633-4844 FAX 633-4940

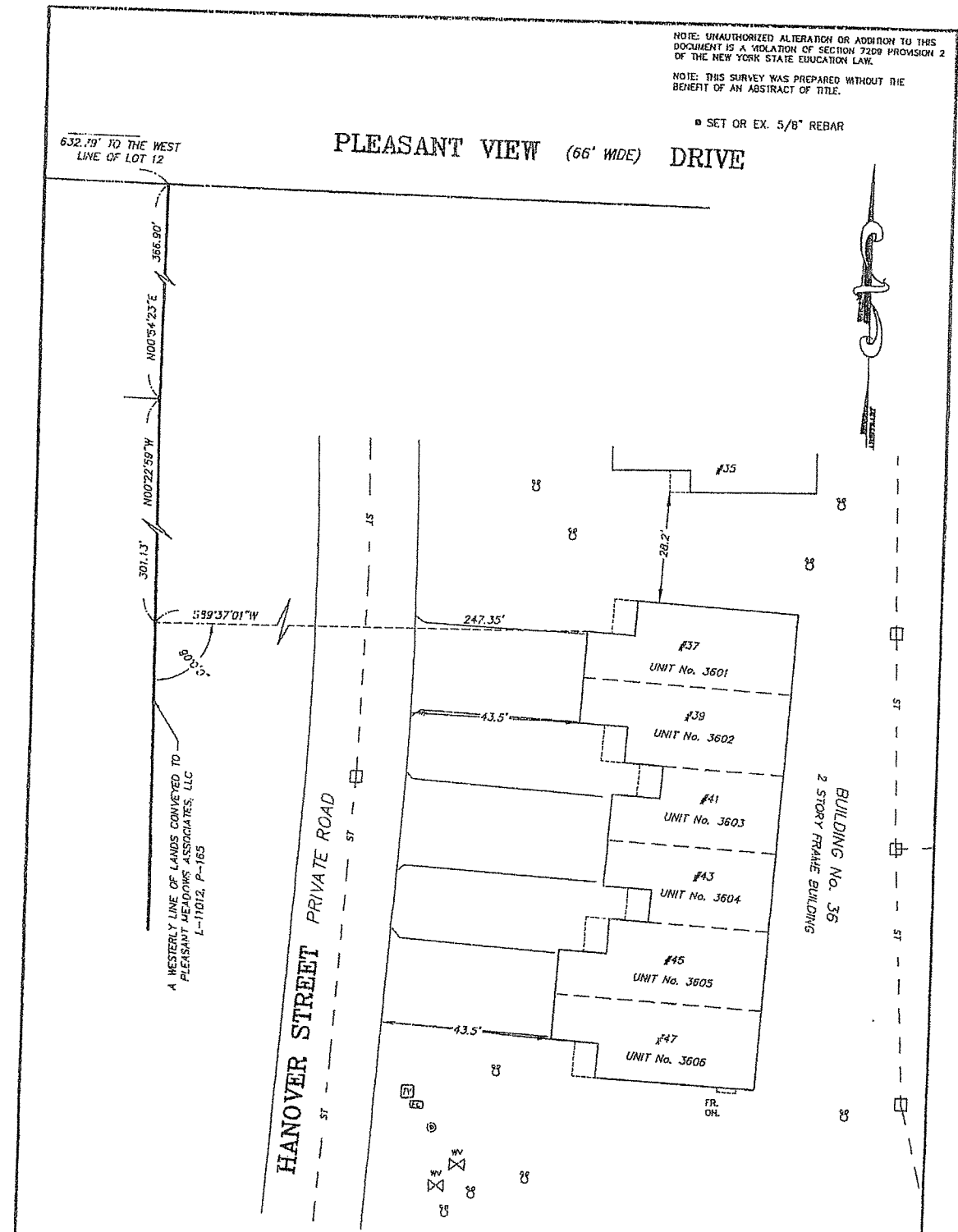
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 NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

SET OR EX. 5/8" REBAR

PLEASANT VIEW (66' WIDE) DRIVE

632.79' TO THE WEST  
 LINE OF LOT 12



A WESTERLY LINE OF LANDS CONVEYED TO  
 PLEASANT MEADOWS ASSOCIATES, LLC  
 L-11012, P-165

HANOVER STREET PRIVATE ROAD

BUILDING No. 36  
 2 STORY FRAME BUILDING

SURVEY OF  
 PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
 HOLLAND LAND SURVEY  
 TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

**GPI** ENGINEERING & SURVEYING, LLP  
 FORMERLY PRATT & HUTH ASSOCIATES, LLP  
 ENGINEERING • SURVEYING • PLANNING  
 4950 GENESEE STREET, SUITE 165  
 BUFFALO, NEW YORK 14225  
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Job No. 3697-37-47 Date: MARCH 23, 2010  
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 NOTE: THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE.

◆ SET OR EX. 5/8" REBAR

632.71' TO THE WEST LINE OF LOT 12

PLEASANT VIEW (66' WIDE) DRIVE

366.90'

N00°34'23"E

N00°22'55"W

161.87'

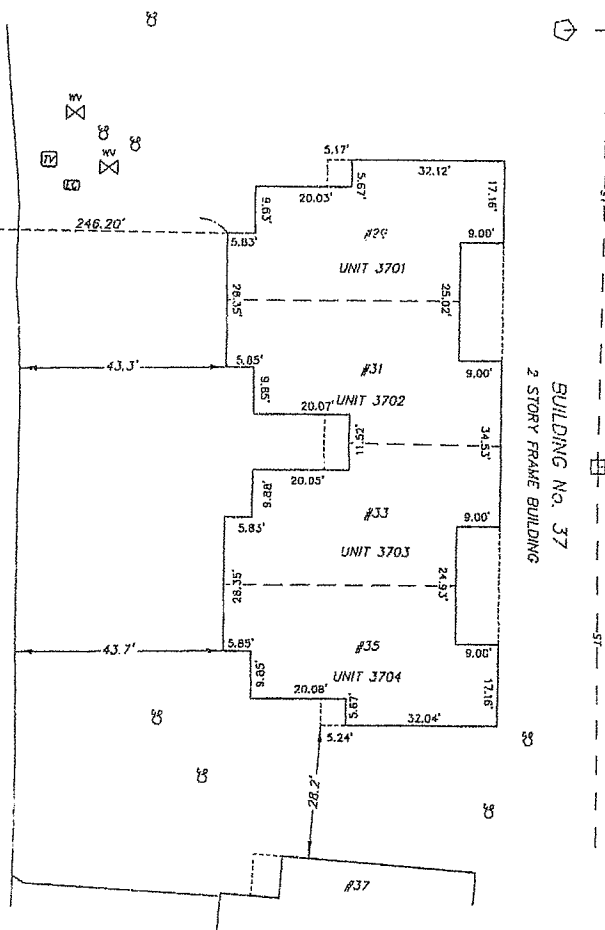
589°37'01"W

80°00'

A MESSIDBY LINE OF LANDS CONVEYED TO PLEASANT VECASOY ASSOCIATES, LLC L-11012, P-165

HANOVER STREET

PRIVATE ROAD



SURVEY OF  
 PART OF LOT 12, SECTION 8, TOWNSHIP 11, RANGE 6  
 HOLLAND LAND SURVEY  
 TOWN OF LANCASTER, ERIE COUNTY, NEW YORK

DATE	REVISION/TYPE

**GPI** ENGINEERING & SURVEYING, LLP  
 FORMERLY PRATT & HUTT ASSOCIATES, LLP  
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 4950 GENESEE STREET, SUITE 165  
 BUFFALO, NEW YORK 14225  
 (716) 633-4844 FAX 633-4840

Job No. 3697-29-35

Date: MARCH 22, 2010

Scale 1" = 30'

Tax No.



# **Exhibit D**

Revised: 12/15/09

Supersedes: 10/27/09

THE MARRANO/MARC EQUITY CORPORATION  
SPECIFICATIONS FOR  
**CENTRAL SQUARE VILLAS  
CLUBHOUSE**

PURCHASER:

ADDRESS:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

**GENERAL DESCRIPTION - ALL TRADES**

- |   | CODE # |
|---|--------|
| 1. Building to Include:   |        |
| a. 1,248 Square Feet of Floor Area  |        |
| b. Managing Office  |        |
| ~ 3'-0 Therma Tru Smooth Star S130 Fiberglass Door  |        |
| - Includes Internal Blinds, Tilt & Raise/Lower  |        |
| - Dull Brass Hinges & Aluminum Sill   |        |
| c. Activity Room  |        |
| ~ (2) Commercial Grade 6'-0 x 6'-8 Double Outswing Doors by Twin City Glass                                 |        |
| ~ Kitchen Area  |        |
| ~ Closet with Bi-pass Doors   |        |
| d. Equipment Room   |        |
| ~ 3'-0 Therma Tru Smooth Star S210 Door   |        |
| - Dull Brass Hinges & Aluminum Sill   |        |
| ~ 3'-0 FF-21 6-Panel Steel Fire Door at Equipment Room / Activity Room                                      |        |
| - Dull Brass Hinges & Aluminum Sill   |        |
| ~ Fire Rated Taped Drywall – No Trim - No Painting – No Flooring  |        |
| Insulated Exterior Walls – Sound Reduction Insulation at Walls adjoining Activity Room & Patio Storage Room |        |
| ~ Houses Furnace, Hot Water Tank, Sump, Mop Sink, Electrical Panel Box and Pool Filter                      |        |

**ALL TRADES - SEE GENERAL DESCRIPTION**

- e. Patio Storage Room off Activity Room
  - ~ 5'-0 x 6'-8 Double Hardboard Doors with T-astragal & Surface Bolt with Privacy Knob on Active Door Only
  - ~ Finished Drywall – Painted Walls – Vinyl Plank Flooring with Vinyl Cove Base by Kenny Enterprise
- f. (2) Half Baths
  - ~ 3'-0 Commercial Door at Bath Hall to Exterior & Bath Hall to Activity Room by Twin City Glass
  - ~ Hardboard Door with Deadbolt with Thumbblatch at Bath Hall / Activity Room
- g. 10'-0 Finished Ceilings
  - ~ Dropped Ceiling Tiles with Fluorescent Fixtures Throughout, Including Equipment Room & Patio Storage Room
- h. 7/16" OSB Sheathing Board – Roof and Side Walls
- i. Slab on Grade
- j. Security System
- k. Pella Encompass Vinyl Double Hung Window in Managing Office
  - ~ White Exterior & Interior
  - ~ Insert at Top Sash Only

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**WINDOWS**  
12

1. Pella Encompass Vinyl Insulated Double Hung Window
    - a. Managing Office: (1) Double Hung
- 

**PATIO DOORS**  
13

1. (2) 6'-0 Double Outswing Commercial Grade Doors off Activity Room
  2. (1) 3'-0 Outswing Commercial Grade Door at Bath Hall Exterior
  3. (1) 3'-0 Interior to Activity Room
- 

**INSERTS & SCREENS**  
14

1. Insert at Top Sash Only
  2. Screen at Double Hung Window in Managing Office
- 

**DOORS**  
15

1. (1) Therma Tru Smooth Star S130 Fiberglass Door with Internal Blinds  
Tilt & Raise / Lower
    - a. Managing Office
  2. (1) Therma Tru Smooth Star S210 Fiberglass Door
    - a. Equipment Room Entry
  3. (1) FF21 Steel Fire Door at Equipment Room / Activity Room
    - a. Primed Frame – Door to be Painted by Painter
  4. Door Hardware (Excludes Commercial Doors):
    - a. (2) Exterior Doors & (1) Fire Door:
      - ~ Schlage Plymouth Key-n-Knobs with Double Cylinder Deadbolts -  
Antique Brass Finish
    - b. Interior Doors: Schlage Plymouth Knobs – Antique Brass Finish
- 

**ROOFING**  
25

1. 3-in-1 Butt Tab
  2. Roof Vents and/or Ridge Vents as per Plan
  3. Ice Shield at Gutter Areas Only
  4. (2) Covered Patios off Activity Room
- 

**SIDING**  
26

1. Vinyl Siding - Double 4"
2. Maintenance Free Soffit System
3. Vinyl Ceilings at (2) Covered Patios off Activity Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

**HEATING**

28

1. Gas Forced Air Heat - 80% Efficient Furnace
  - a. Including Equipment Room & Patio Storage Room
2. Central Air Conditioning
  - a. Including Equipment Room & Patio Storage Room
3. Honeywell TH4110 Set-Back Thermostat
4. Add Ductwork for:
  - a. Kitchen Hood Fan
  - b. (2) Half Baths – Broan #671 70 CFM Fans
  - c. Exhaust Fans Vent to Roof Jacks
5. Venting for 40 Gallon Hot Water Heater
6. Venting in Equipment Room for Pool Equipment

**PLUMBING**

27

1. (2) Half Baths:
  - a. ProFlo 194RWH 19" Round White Sinks  
~ Kohler K-P15182-FD-CP Chrome Faucets
  - b. Kohler K-4304-0/4645-0 Power Flush White Toilets with Bemis 170000 Seats
2. Kitchen Area in Activity Room:
  - a. ProFlo PFT252273 25 x 22 Stainless Steel Sink  
~ Kohler Coralais K-15173 Chrome Faucet with Spray Hose  
~ Chrome Strainer
  - b. No Gas Line to Range Area
3. Equipment Room:
  - a. ProFlo PFZ199624 24 x 24 x 10 Mop Basin with Cen 897RCF Chrome Service Faucet
  - b. A.O. Smith AGVCL40 Natural Gas Hot Water Heater
  - c. Liberty 237 1/3hp Sump Pump
4. 3/4" Frost Free Hose Faucet at Half Baths Wall
5. (3) 3" Floor Drains – (1) in Equipment Room, (1) in Each Half Bath with Trap Primers on Floor Drain
6. PVC Wastes and Vents Above / Below Floor, Run Outside
7. Type "CPVC" Water Lines above Floor
8. 1" K Copper Water Main Run into Equipment Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**ELECTRICAL**

29

1. Wire for Basic Exhaust Fans in (2) Half Baths
2. GFCI Protected Outlets in Kitchen & (2) Half Baths
3. (2) Exterior GFCI Protected Weatherproof Outlets
4. 30" Hood Fan above Range
5. Wire for Central Air Conditioning
6. 150 AMP Service
7. 220 Line to Range Area
8. Fluorescent Fixtures in Dropped Ceiling Tiles Throughout, Including Equipment Room & Patio Storage Room
9. Exterior Lights at Managing Office, Patio Doors, Half Bath Hall Exterior Entry & Equipment Room

---

**AUDIO / VIDEO**

29

1. (3) Phone Outlets
  - a. (1) Managing Office, (1) Exterior at Half Bath Wall for Restricted Use Emergency Phone, (1) in Activity Room
2. (2) Cable TV Outlets
  - a. (1) Managing Office, (1) Activity Room

---

**INSULATION**

35

1. Firewall per Plan
2. Throughout - With 2 Mil Polywrap: R-13 Walls (3 3/8"); R-38 Ceiling
3. Insulate Equipment Room Exterior Walls
4. Sound Reduction Insulation at Equipment Room Walls adjoining Activity Room and Patio Storage Room
5. Styrofoam Baffles in Rafter Bays at Soffit

---

**WALLBOARD**

36

1. Firewall per Plan
2. Board Complete Building
  - a. Fire Rated Taped Drywall in Equipment Room
3. Dropped Ceiling Tiles Throughout, Including Equipment Room & Patio Storage Room
4. Activity Room Bi-pass Closet Door Opening – Metal Corner Bead Inside Corner Only

**ALL TRADES - SEE GENERAL DESCRIPTION**

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<b>GUTTERS</b> 24	1. 5" Aluminum with 3" Conductors
----------------------	-----------------------------------

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<b>SHEET VINYL</b> 42	1. Vinyl Plank Flooring with Vinyl Cove Base Throughout, Including Patio Storage Room a. EXCLUDES Equipment Room
--------------------------	---

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<b>APPLIANCES</b> 41	1. Whirlpool Appliances: a. Microwave/Hood/Fan Combo – WMH2175XV b. Range – Electric - WFE361LV c. Refrigerator – W2RXEMMW
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<b>CABINETS</b> 40	1. Kitchen & (2) Half Baths a. Homecrest Mora Bay Cabinets with Handles or Knobs b. No Cabinet above Refrigerator
-----------------------	---

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<b>TRIM</b> 18 - 19	1. Interior Doors – Safe & Sound Smooth 6-Panel Hardboard Throughout 2. MDF Colonial Casing Throughout, Including Patio Storage Room a. EXCLUDES Equipment Room 3. Vinyl Cove Base Throughout, Including Patio Storage Room a. EXCLUDES Equipment Room 4. Activity Room Closet Opening Cased with Side Jambs, Casing Side and Top – Room Side Only
------------------------	---

---

<b>PAINT</b> 37	1. EXTERIOR: a. Door at Managing Office 2. INTERIOR: a. Paint 1. Interior Walls Throughout, Including Patio Storage Room (1) Color Throughout – (2) Coat Flat Finish a. <u>DO NOT PAINT</u> Equipment Room Walls
--------------------	--

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

PAINT (Cont'd)

2. INTERIOR – Cont'd.
    - a. Paint – Cont'd.
      2. MDF Interior Trim
      3. Interior Doors – Safe & Sound 6-Panel Hardboard
  3. DO NOT PAINT Fire Door at Activity Room / Equipment Room
- 

CERAMIC TILE

42

1. Paper Holders in (2) Half Baths
- 

COUNTERTOPS

43

1. Plastic Laminate in Kitchen & (2) Half Baths
    - a. Allowance: Formica
    - b. Standard Post Form Style with Waterfall Edge Detail
- 

CARPET

45

1. Managing Office
    - a. 50530 Neyland II Commercial Carpet with Millenia Pad
- 

MIRRORS

63

1. (2) Half Baths: 30" x 42"
- 

CONCRETE

53

1. (2) Patios off Activity Room
    - a. (1) 16'-4 wide x 8'-4 deep
    - b. (1) 14'-8 wide x 11'-10 deep
- 

SHELVING

18

1. Ventilated Vinyl Coated Wire Shelving in Activity Room Closet

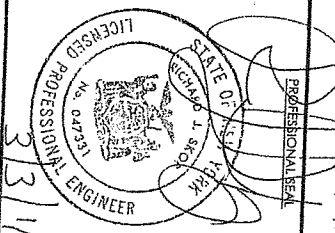
**ALL TRADES - SEE GENERAL DESCRIPTION**



**MARRANO/MARC EQUITY CORPORATION**  
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LICENSED ENGINEER  
 RICHARD J. SCOP  
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 PHONE (716) 725-9790 FAX (716) 763-6854



CLUBHOUSE

CENTRAL SQUARE VILLAS

LANCASTER

CLUBHOUSE

MODEL: CLUBHOUSE  
 ELEVATION: CLUBHOUSE  
 HAND OF HOUSE: CLUBHOUSE  
 CONTRACT DATE: CLUBHOUSE  
 JOB CODE: CLUBHOUSE  
 SALES: CLUBHOUSE  
 DRAWING: CLUBHOUSE  
 ESTIMATING: CLUBHOUSE  
 COORDINATION: CLUBHOUSE  
 PRODUCTION: CLUBHOUSE  
 SPEC REVISION: CLUBHOUSE

1ST FLOOR GROSS: 1248 S.F.  
 2ND FLOOR GROSS: N/A  
 CRESTORY SPACE: N/A  
 GARAGE: N/A  
 PORCH(IES): 296.5 S.F.  
 BASEMENT SLAB: 1248 S.F.  
 GARAGE SLAB: N/A

**GENERAL NOTES**

1. PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY CORPORATION. UNAUTHORIZED USE OR REPRODUCTION OF PLANS AND SPECIFICATIONS IS PROHIBITED. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE PLANS AND SPECIFICATIONS IS PROHIBITED.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, UNLESS OTHERWISE SPECIFIED.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AT ALL STAGES OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
10. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

**FLOOR NOTES**

1. FLOOR FINISH SHALL BE AS SHOWN ON THE PLANS.
2. ALL FLOOR JOISTS SHALL BE SPACED AT 16" O.C. UNLESS OTHERWISE SPECIFIED.
3. ALL FLOOR JOISTS SHALL BE SUPPORTED BY WALLS OR OTHER STRUCTURES.
4. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
5. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
6. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
7. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
8. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
9. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
10. ALL FLOOR JOISTS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.

**WALL NOTES**

1. ALL WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
2. ALL WALLS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
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10. ALL WALLS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.

**ROOF NOTES**

1. ALL ROOF STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
2. ALL ROOF STRUCTURES SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
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10. ALL ROOF STRUCTURES SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.

**TUB DECK NOTES (IF PURCHASED)**

1. ALL TUB DECKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES.
2. ALL TUB DECKS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
3. ALL TUB DECKS SHALL BE PROTECTED BY A MINIMUM OF 1" OF CONCRETE OR GYPSONUM BOARD.
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**FLOOR SYSTEM**

FLOOR SYSTEM	7'-0" BASEMENT	8'-0" BASEMENT	9'-0" BASEMENT	8'-11" 1ST FLOOR	10'-11" 1ST FLOOR
1. 7'-0" GDB DECKING OVER 12" I/F	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")
2. 7'-0" GDB DECKING OVER 24" I/F	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")
3. 7'-0" GDB DECKING OVER 12" I/F	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")
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**TYPICAL RISER COUNT AND HEIGHT**

TYPICAL RISER COUNT AND HEIGHT	7'-0" BASEMENT	8'-0" BASEMENT	9'-0" BASEMENT	8'-11" 1ST FLOOR	10'-11" 1ST FLOOR
1. 7'-0" GDB DECKING OVER 12" I/F	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")
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4. 7'-0" GDB DECKING OVER 12" I/F	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")	13'-3" 3/4" EACH (9'2")

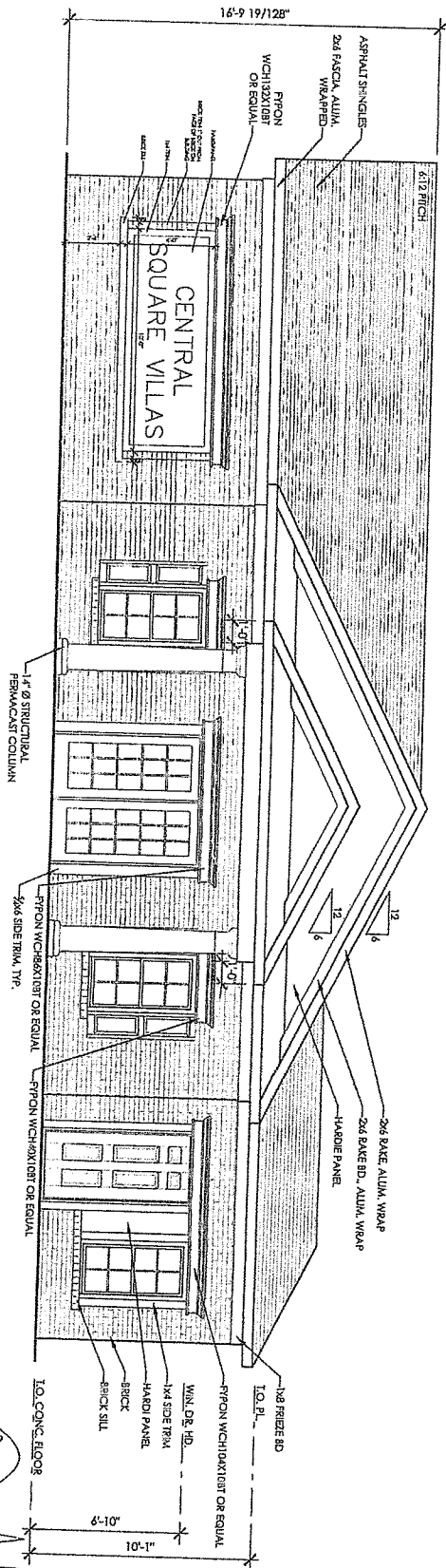
**SYMBOLS AND ABBREVIATIONS**

SYMBOLS AND ABBREVIATIONS	DESCRIPTION
UNO	UNLESS NOTED OTHERWISE
O.C.	ON CENTER
T.O.W.	TOP OF WALL
T.O.C.	TOP OF CONCOURSE
C.L.	CENTER LINE
PL	PLATE
1/4"	1/4" THICK AND GROOVE
1/2"	1/2" THICK AND GROOVE
3/4"	3/4" THICK AND GROOVE
1"	1" THICK AND GROOVE
2"	2" THICK AND GROOVE
3"	3" THICK AND GROOVE
4"	4" THICK AND GROOVE
5"	5" THICK AND GROOVE
6"	6" THICK AND GROOVE
7"	7" THICK AND GROOVE
8"	8" THICK AND GROOVE
9"	9" THICK AND GROOVE

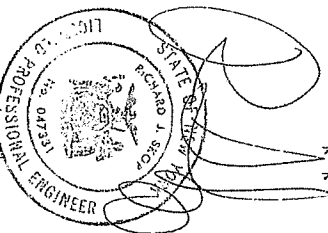
**INDEX**

INDEX	DESCRIPTION
1	SPEC PAGE
2	FOUNDATION PLAN
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	ROOF PLAN
6	SOB ELEVATIONS
7	SECTION A
8	SECTION B
9	FOUNDATION WALL

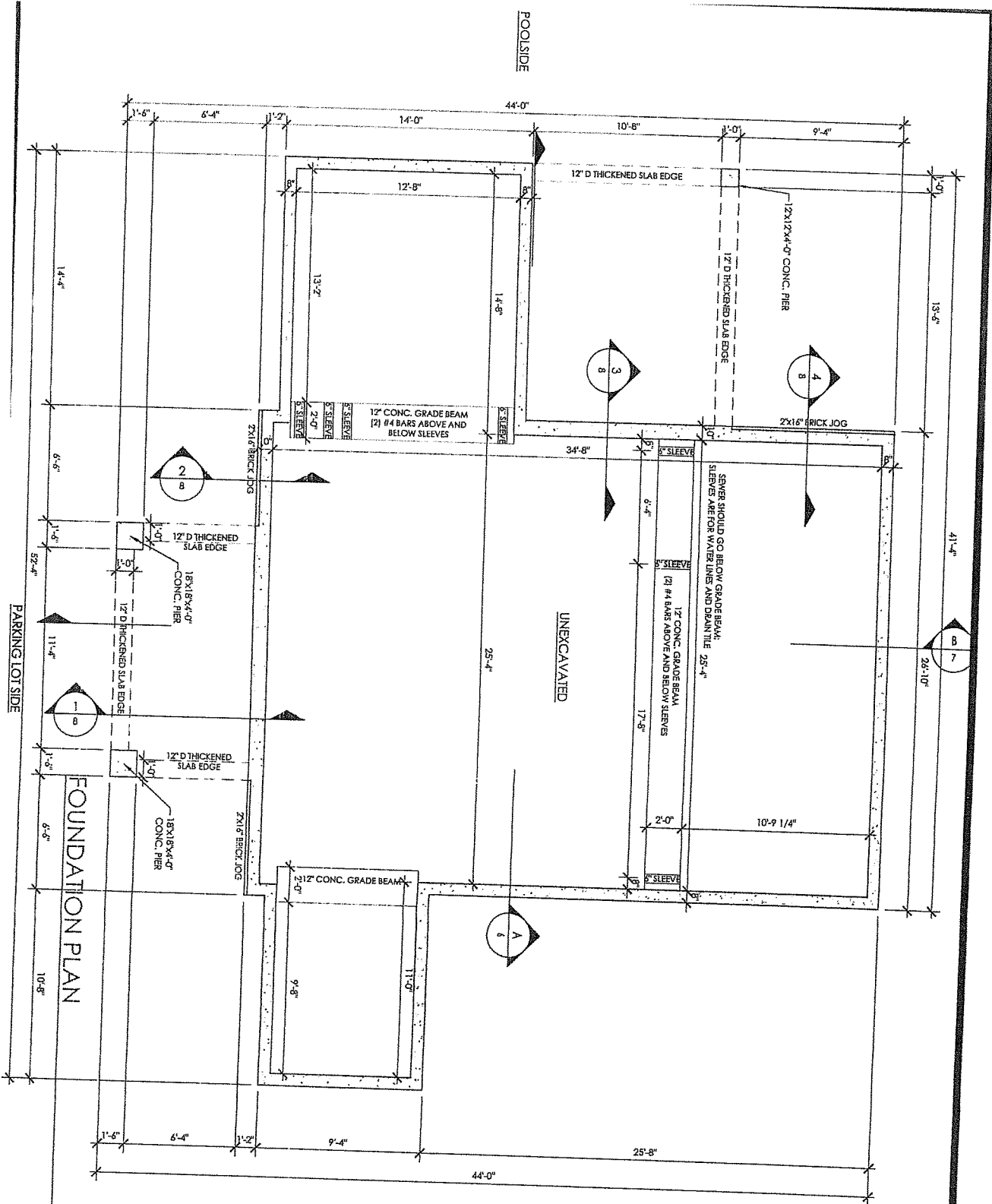
1. TOP OF BASEMENT SLAB IS 7' ABOVE TOP OF FOOTING.  
 2. BASEMENT SLABS ARE 3/4" THICK. RISERS WILL NEED TO BE RECALCULATED FOR DIFFERENT FLOOR SLAB THICKNESSES.  
 3. DIMENSIONS IN PARENTHESIS ABOVE REPRESENT THE OVERALL HEIGHT (CONCRETE TO OSB) OR OSB TO OSB. NOTE THAT IF HARDWOOD FLOOR OR CERAMIC FINISHING, APPROPRIATE ADJUSTIONS MUST BE MADE AND THE RISER HEIGHTS RECALCULATED.



FRONT ELEVATION



33/11



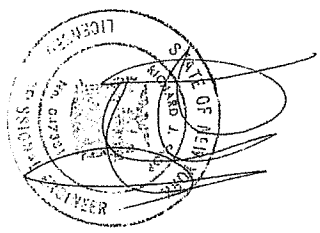
PARKING LOT SIDE

POOLSIDE

FOUNDATION PLAN

UNEXCAVATED

SEWER SHOULD GO BELOW GRADE BEAM. SLEEVES ARE FOR WATER LINES AND DRAIN TILE.



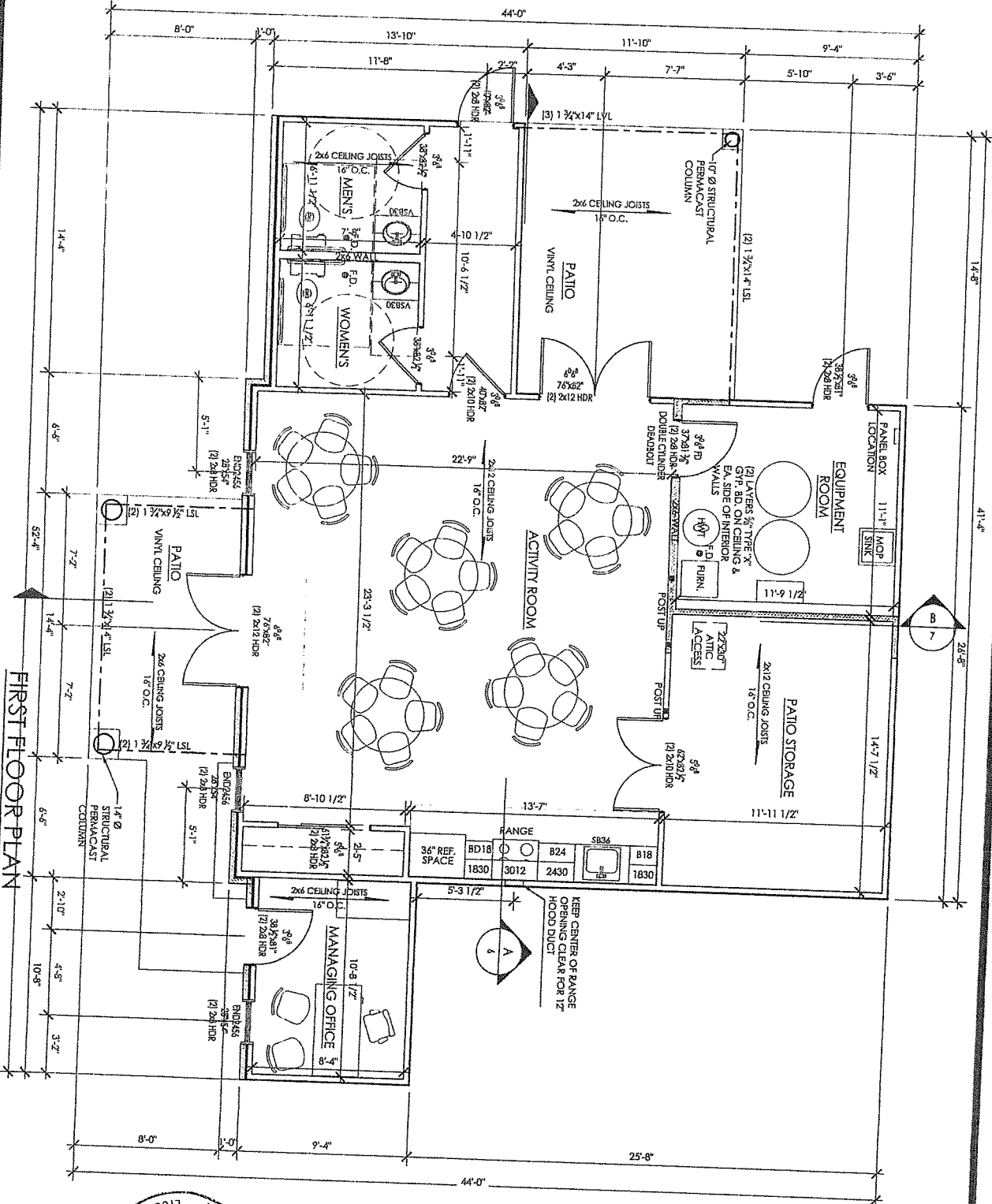
SCALE: 3/16"=1'-0"

SHEET

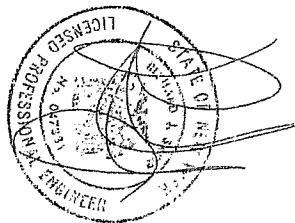
**MARRANO**

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CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM



FIRST FLOOR PLAN

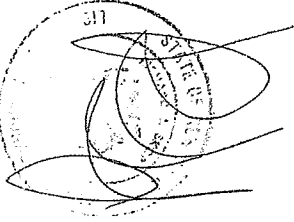
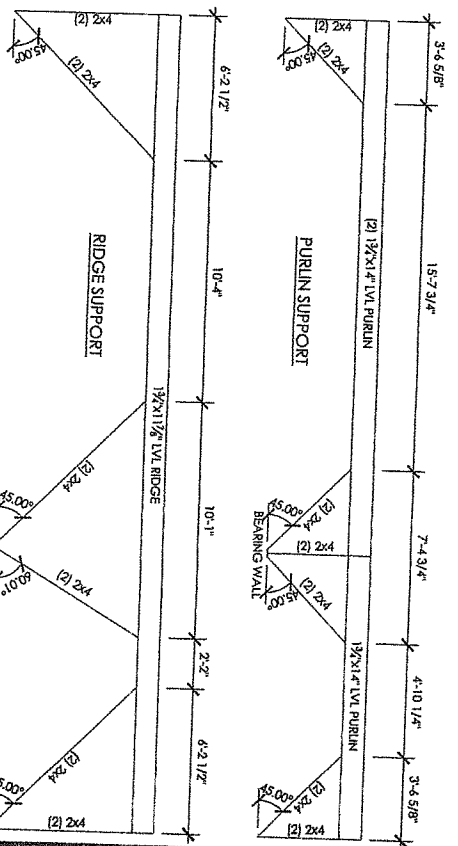
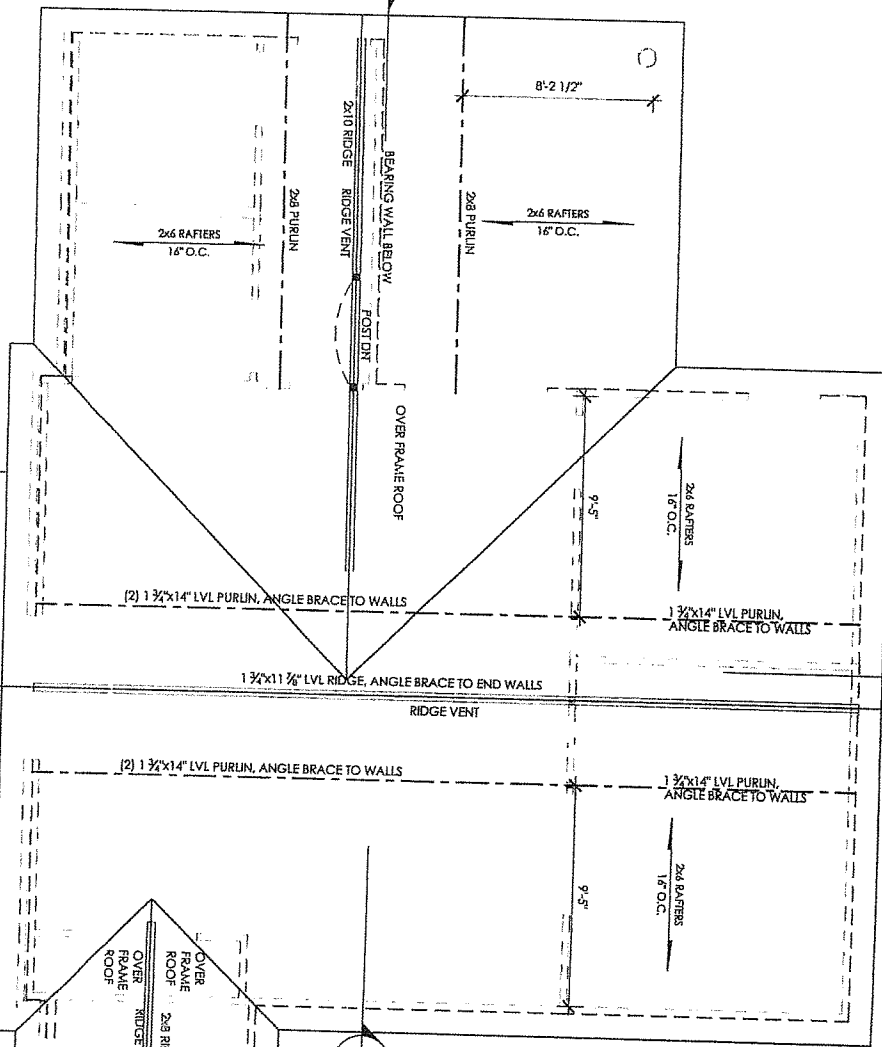
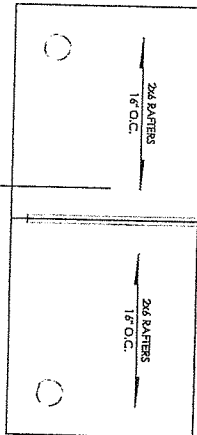


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ROOF PLAN

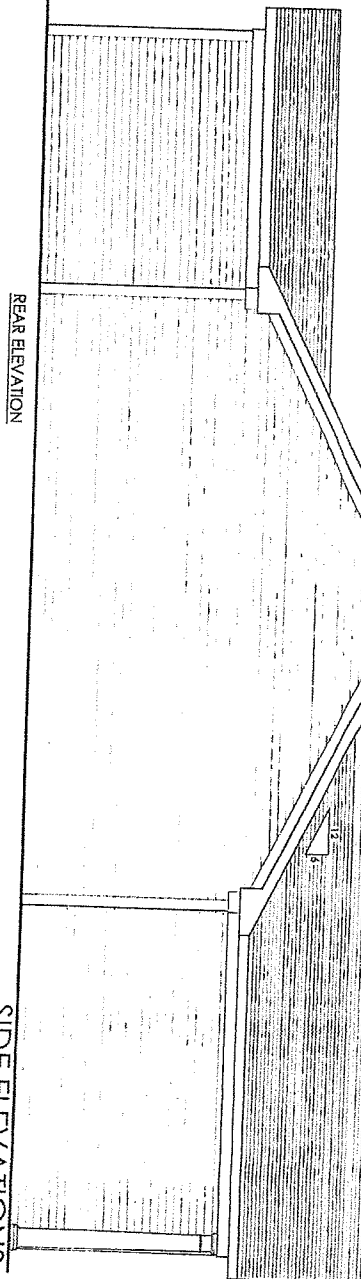
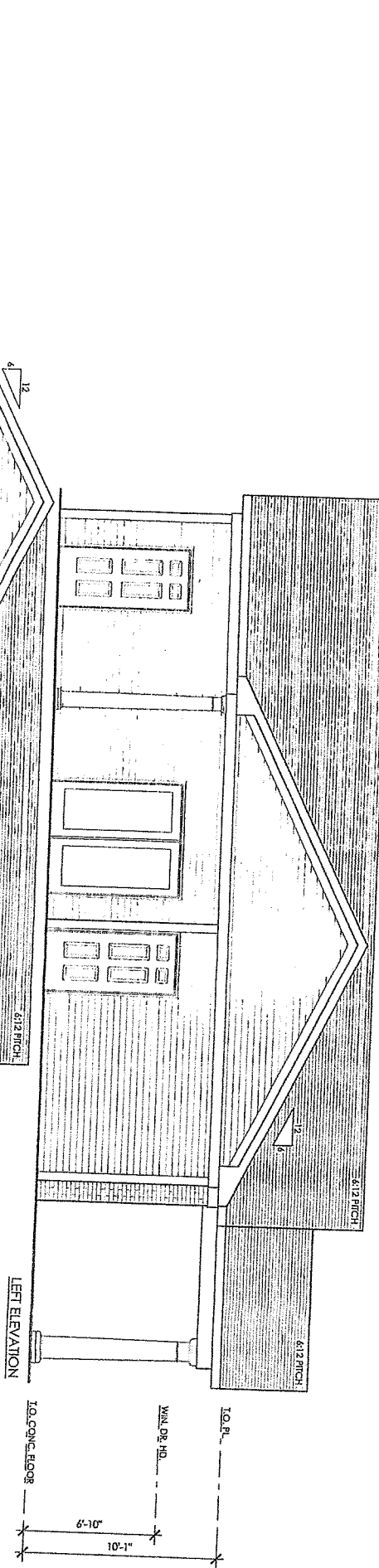
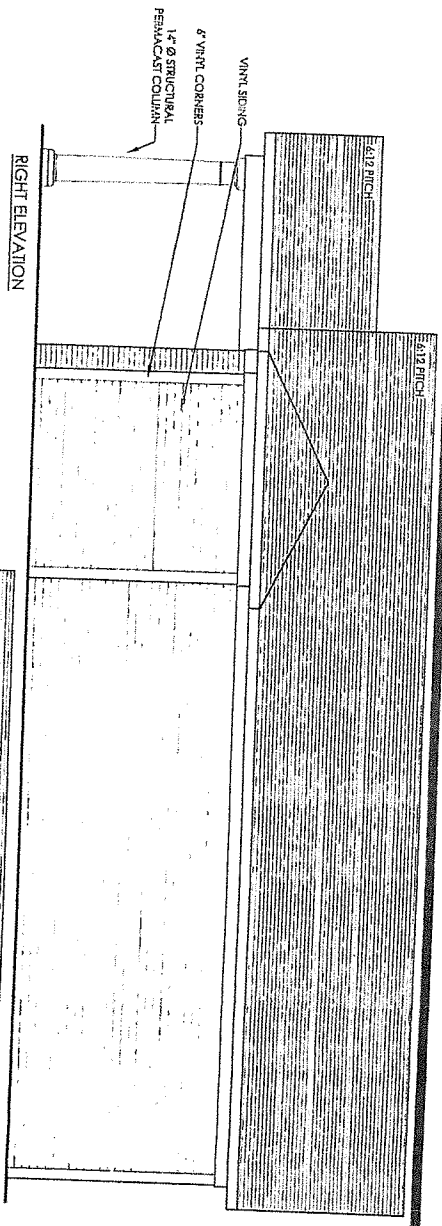


SHEET 1

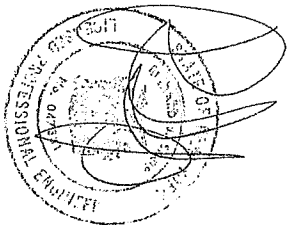
**MARRANO**

CLUBHOUSE  
CENTRAL SQUARE VILLA TOWNHOMES

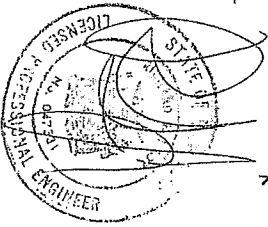
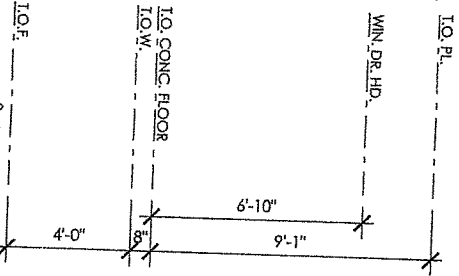
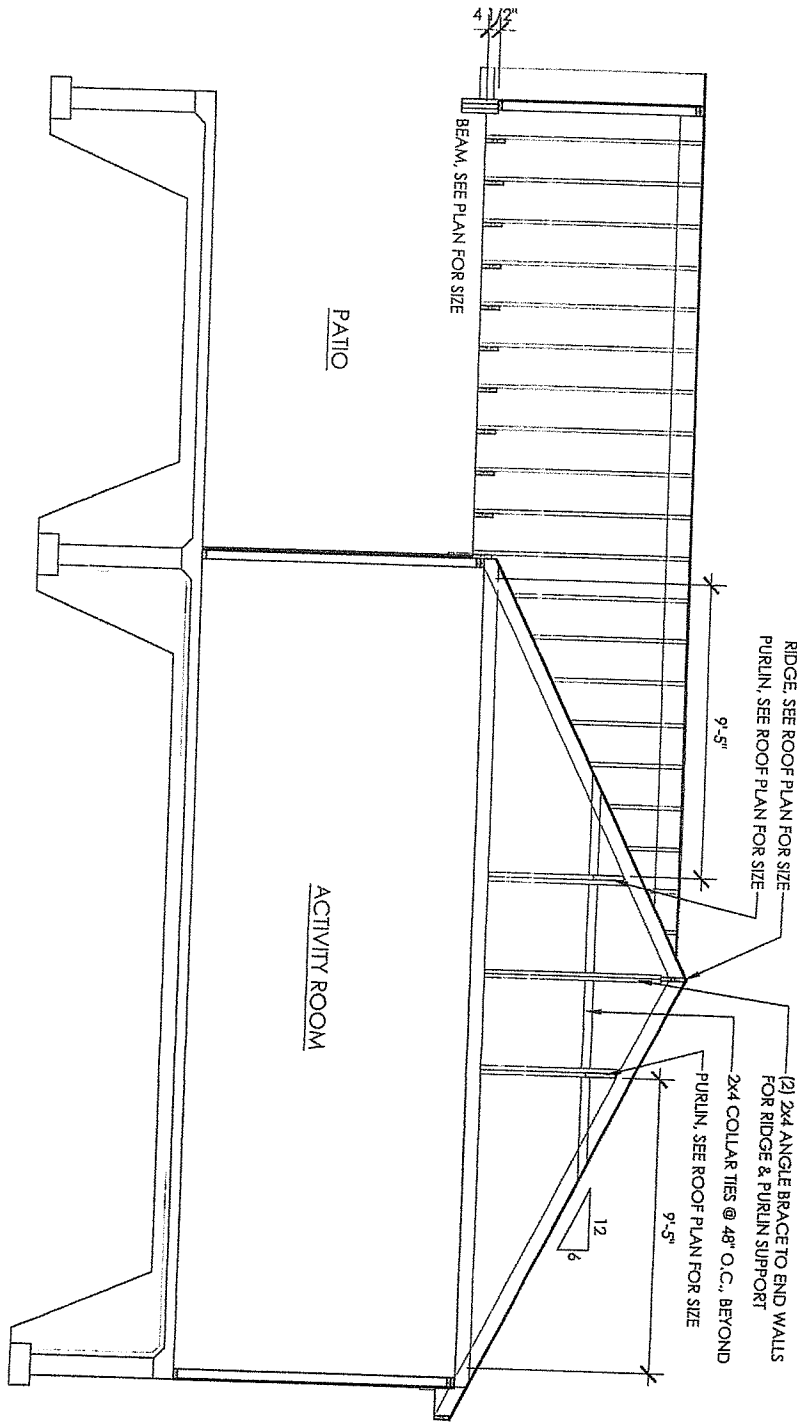
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SIDE ELEVATIONS



BUILDING SECTION A

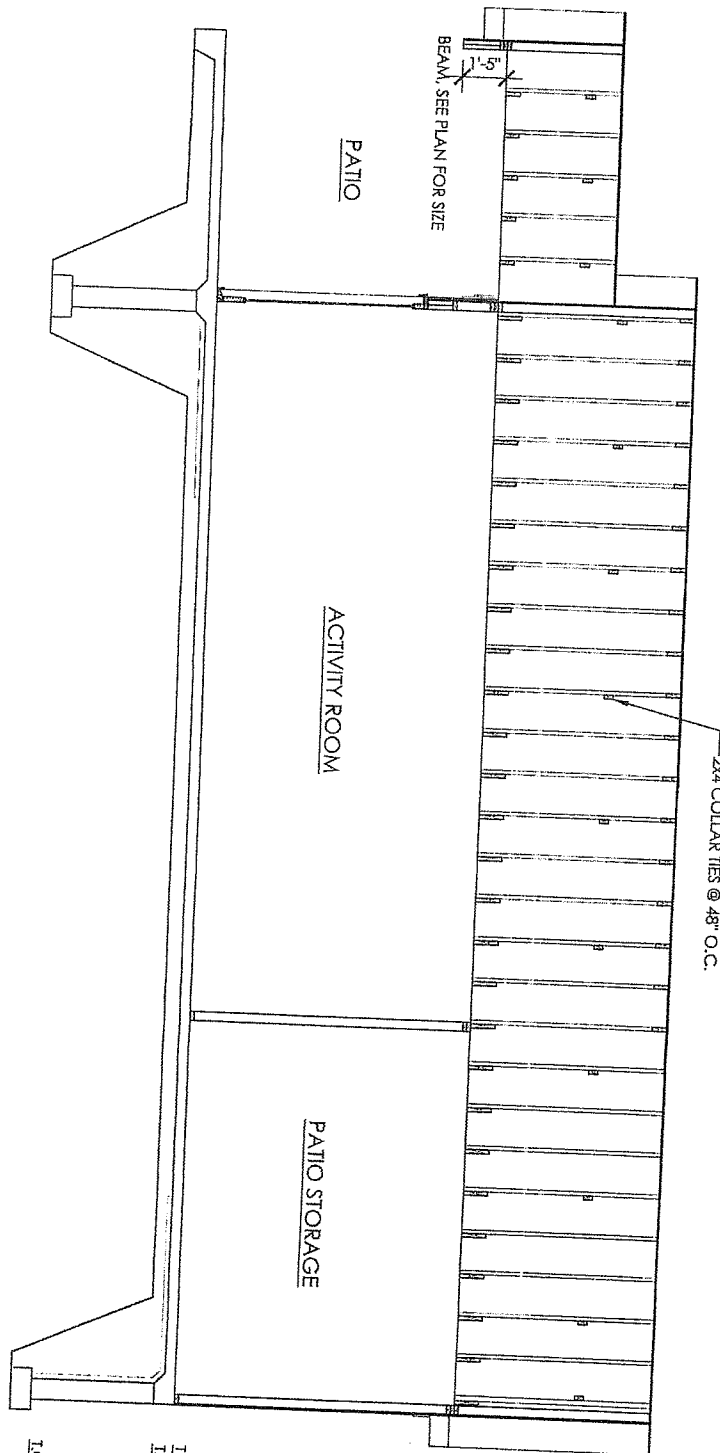


SHEET

**MARRANO**

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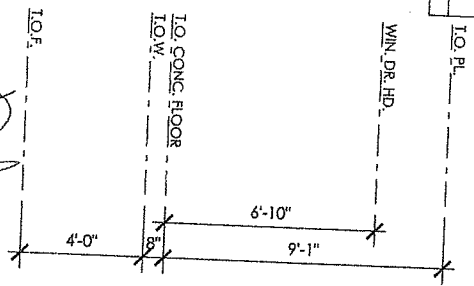
BEAM, SEE PLAN FOR SIZE

PATIO

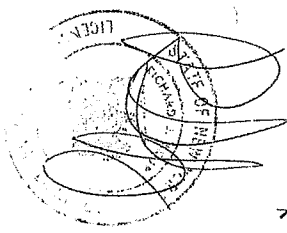
ACTIVITY ROOM

PATIO STORAGE

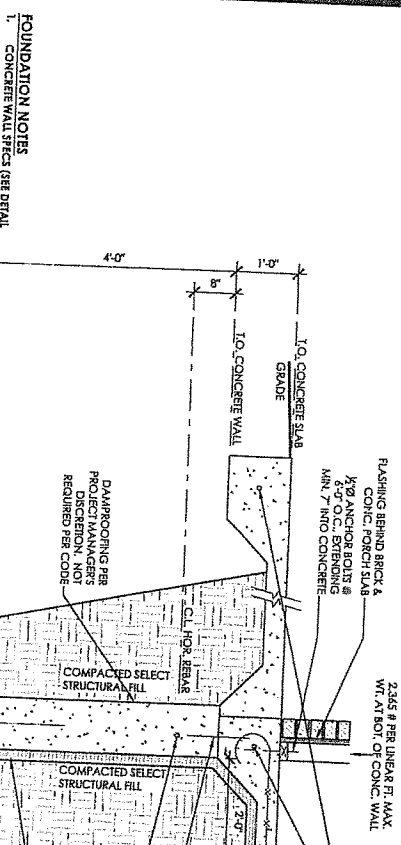
2x4 COLLAR TIES @ 48" O.C.



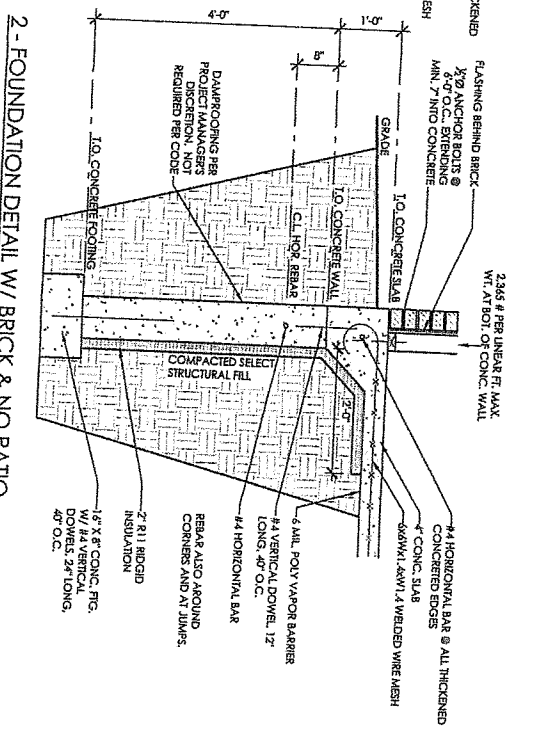
BUILDING SECTION B



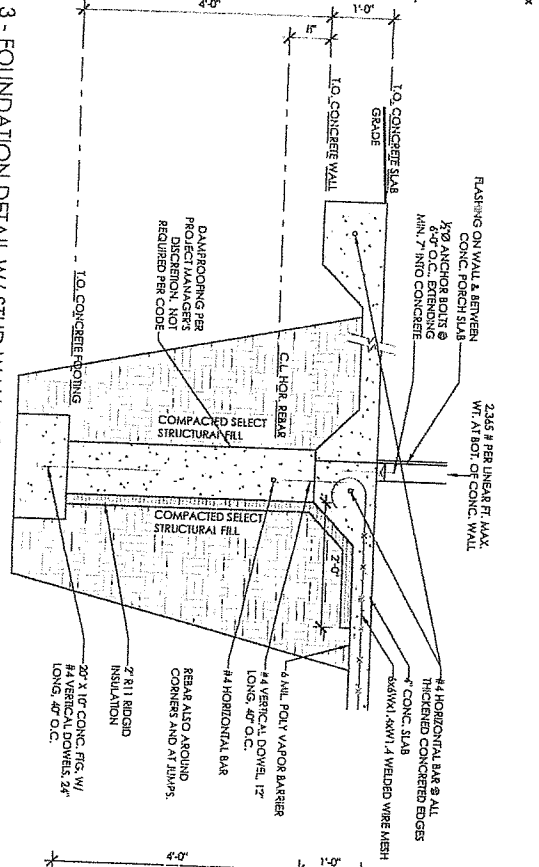




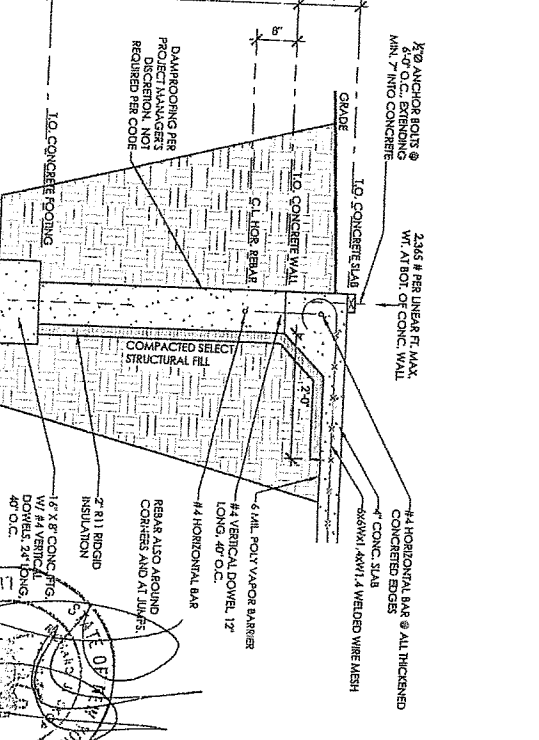
1 - FOUNDATION DETAIL W/ BRICK & PATIO  
SCALE: 1/2"=1'-0"



2 - FOUNDATION DETAIL W/ BRICK & NO PATIO  
SCALE: 1/2"=1'-0"

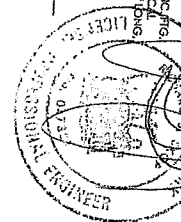


3 - FOUNDATION DETAIL W/ STUD WALL & PATIO  
SCALE: 1/2"=1'-0"



4 - FOUNDATION DETAIL W/ STUD WALL & NO PATIO  
SCALE: 1/2"=1'-0"

- FOUNDATION NOTES**
1. CONCRETE WALL STRECS (SEE DETAIL AND/OR PLAN FOR SIZE AND/OR REBAR REQUIREMENTS)
  2. CONCRETE FOOTINGS (SEE DETAIL AND/OR PLAN FOR SIZE AND/OR REBAR REQUIREMENTS)
  3. FLOOR FINISH: 3000 PSI
  4. 1/2" ANCHOR BOLTS @ 4' O.C. EXTENDING 7" INTO CONCRETE
  5. (1) 2x4 #1: SHILL TYPED WITH SIL SEALER



# **Exhibit E**

# Changes in Patio Home Specs

CENTRAL SQUARE VILLAS

CAMBRIDGE

General	
1.	Changed square footage from 1,241 / 1,243 / 1,247 / 1,267 to 1,236 / 1,238 / 1,243 / 1,270 square feet of floor area.
2.	Removed prewire for future security system.
Windows	
3.	Changed family room – (1) twin double hung to family room rear wall – (1) twin double hung.
4.	Added family room end wall – (2) single double hungs – end units only.
Siding	
5.	Added Green Guard value house wrap.
Electrical	
6.	Deleted prewire for future security system.
7.	Changed 150 AMP service to 125 Amp service.
Insulation	
8.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
Appliances	
9.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
Carpet	
10.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.



Revised: 1/01/11

Supercedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION  
SPECIFICATIONS FOR  
**CENTRAL SQUARE VILLA TOWNHOMES**  
**THE CAMBRIDGE**  
**2011 SPECS**

PURCHASER:  
SUBDIVISION:  
CODE:  
DRIVEWAY:

ADDRESS:  
CONTRACT DATE:  
COORDINATOR:  
DATE MAILED:

**GENERAL DESCRIPTION - ALL TRADES**

**CODE #**

1. Two Story with:
  - a. 1,236 / 1,238 / 1,243 / 1,270 Square Feet of Floor Area
  - b. Elevation "1" with 8'-0 x 6'-0 Covered Front Porch with
    - (1) Wood Post and Vinyl Ceiling
    - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
    - Crystal Diamonds Lite with Brass Caming
    - ~ FF-21 6-Panel Steel Fire Door at Garage / Laundry Room
  - c. (1) Car Attached Garage with 9'-0 Overhead Door
  - d. (2) Bedrooms
  - e. 1 ½ Baths
    - ~ Powder Room: Oval Bevel Mirror
    - ~ Main Bath: 36" x 42" Mirror
  - f. 8'-0 Finished Ceilings 1<sup>st</sup> and 2<sup>nd</sup> Floors
  - g. "U" Staircase with Stained Cap at Half Walls at Center of Stairs and Upper Hall
  - h. Family Room
  - i. Kitchen
    - ~ 45" high Half Wall with Stained Cap at Kitchen / Family Room & Kitchen / Dinette
  - j. Dinette
  - k. Laundry Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

- l. 7'-0 Basement Walls
  - ~ No Window in Basement
  - ~ Delta MS Foundation Water Barrier
- m. 7/16" OSB Sheathing Board – Roof and Side Walls
- n. 3/4" OSB Subfloor Throughout
- o. No Fireplace
- p. Pella Encompass Vinyl Double Hung & Casement Windows
  - ~ White Exterior and Interior
  - ~ Inserts between the Glass – Pre-finished White both Sides at Upper Sash Only at Front Windows

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**WINDOWS**

12

1. Vinyl Insulated Double Hung & Casement Windows
    - a. **Pella Encompass – White Exterior & Interior**
  2. Family Room Rear Wall – (1) Twin Double Hung
  3. Family Room End Wall – (2) Single Double Hungs – End Units Only
  4. Bedroom #2 – (1) Twin Double Hung
  5. Master Bedroom – (2) Single Casements
- 

**PATIO DOOR**

13

1. Dinette – 6'-0 Sliding Door
    - a. **Pella Encompass – White Exterior & Interior**
- 

**INSERTS & SCREENS**

14

1. Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows Only
  2. Full Screens on Double Hung & Casement Windows
  3. Screen at Dinette Sliding Door
- 

**DOORS**

15

1. Exterior:
    - a. Front Entry: Therma Tru Smooth Star Fiberglass Door
    - b. Garage / Laundry Room: FF-21 6-Panel Steel Fire Door
      1. Factory Finished Frame – Door Painted by Big "L" Dist.
  2. Door Hardware:
    - a. Interior Doors: Schlage Knobs – Antique Brass Finish
    - b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish
    - c. Front Door: Schlage Knob with Single Cylinder Deadbolt - Antique Brass Finish
- 

**GARAGE DOOR**

24

1. 9'-0 x 7'-0 - (4) Section (4) Raised Panel Steel - Model #5120
    - a. Pre-finished - No Painting
- 

**ROOFING**

25

1. 3-in-1 Butt Tab
2. Roof Vents and/or Ridge Vents as per Plan
3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under
4. Covered Front Porch

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**SIDING**

26

1. Vinyl Siding - Double 4"
  2. Maintenance Free Soffit System
  3. Vinyl Ceiling at Front Porch
  4. Green Guard Value House Wrap
- 

**HEATING**

28

1. Gas Forced Air Heat - 80% Efficient Furnace
  2. Honeywell TH-4110 Set-Back Thermostat
  3. Add Ductwork for:
    - a. Kitchen Hood Fan to be NON-DUCTED
    - b. Powder Room – Broan #688 50 CFM Fan
    - c. Main Bath – Broan #671 70 CFM Fan
    - d. Laundry Room – Broan #688 50 CFM Fan & Dryer Vent
    - e. Exhaust Fans Vent to Roof Jacks
  4. Venting for 40 Gallon Hot Water Heater
  5. Prep for Future Air Conditioning on Furnace – No Coil
  6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future Air Conditioning
- 

**PLUMBING**

27

1. Main Bath:
  - a. Sterling 71090110/20-0 Acclaim 60" x 30" x 72" Tub & Shower – White with Shower Rod  
~ Kohler K-P304-K-NA/P15601-4S-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044-0 Elliot 20" x 17" Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White
2. Powder Room:
  - a. (1) ProFlo PF4600/4604 Pedestal Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - b. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White

**ALL TRADES - SEE GENERAL DESCRIPTION**



PLUMBING (Cont'd)

3. Kitchen:
  - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink
    - ~ Kohler K-P15171-CP Chrome Faucet – No Spray Hose
    - ~ Chrome Strainer
  - b. Dishwasher Hook-up
  - c. No Disposal
4. Laundry Room – Washing Machine Box
5. No Laundry Tray
6. 40 Gallon Hot Water Heater - Gas
7. 1750 GPH Submersible Sump Pump in Basement
8. (2) Exterior Cold Water Faucets – (1) at Front, (1) at Rear
9. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

1. (1) Control Plug in Family Room and All Bedrooms
2. Wire for Basic Exhaust Fans in Powder Room, Main Bath and Laundry Room
3. GFCI Protected Outlets in Kitchen, Powder Room and Main Bath
4. (1) 15 AMP GFCI Protected Outlet in Basement
5. (1) 15 AMP GFCI Protected Outlet in Garage
6. (2) Exterior GFCI Protected Weatherproof Outlets – (1) at Front, (1) at Rear
7. 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
8. Hook-up Dishwasher
9. No Disposal
10. Wire for Future Garage Door Opener
11. 125 AMP Service
12. All Basement Lights on (1) Switch
13. No 220 Lines to Range or Dryer Areas

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

ELECTRICAL (Cont'd)

14. Recess Lights:
    - a. Lower Hall at Staircase / Powder Room: (2) Recess on 3-way Switch
    - b. Kitchen: (1) Recess above Sink
  15. Fluorescent Fixture:
    - a. Laundry Room: 4'-0 Covered Fixture
    - b. Master Walk-in Closet: Covered Fixture
  16. Pre-selected Exterior Fixtures:
    - a. Front Entry & Garage Front
    - b. Dinette Door
  17. Interior Fixtures per Package
- 

AUDIO / VIDEO

29

1. (2) Phone Outlets
  2. (3) Cable TV Outlets
  3. 2" PVC Chase from Basement to Attic Crawl Space for Future Wiring
- 

INSULATION

35

1. Firewall per Plan
  2. Living Space Only - With 2 Mil Polywrap:  
R-13 Walls (3 3/8"); R-38 Ceiling
  3. White-Faced "Wallfast" R-19 Basement Blanket Insulation -  
Per Town Codes
  4. Styrofoam Baffles in Rafter Bays at Soffit
- 

WALLBOARD

36

1. Firewall per Plan
2. Board Complete House, Including Garage
3. Texture Spray Ceilings Throughout, EXCEPT Garage
4. Special:
  - a. (1) Coat Finished Drywall - Garage Walls and Ceiling
  - b. All Bi-pass Closet Door Openings – Metal Corner Bead Inside  
Corner Only
5. Recess Lights – Lower Hall at Staircase / Powder Room (2),  
Kitchen (1)

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

WALLBOARD (Cont'd)

6. Main Bath - Tub/Shower Module
  7. Capped Half Walls at Center of "U" Staircase and Upper Hall
  8. Capped Half Wall at Kitchen / Family Room & Kitchen / Dinette
- 

GUTTERS

24

1. 5" Aluminum with 3" Conductors
- 

SHEET VINYL

42

1. Foyer, Guest Closet, Powder Room, Kitchen / Dinette, Laundry Room and Main Bath
  2. Allowance: Armstrong Initiator
  3. MDF Base and Shoe Molding Throughout
  4. Any Sheet Vinyl to Carpet Transition will have Metal Edging
- 

HARDWOOD FLOORS

46

1. Optional
- 

APPLIANCES

41

1. Dishwasher – Whirlpool DU1015XTX
- 

CABINETS

40

1. Kitchen and Main Bath
  2. Allowance: Homecrest Fulton Oak Finish Square Recess Panel Door
    - a. Handles or Knobs Included
    - b. No Roll-out Trays
    - c. No Cabinet above Refrigerator
  3. Pedestal Sink in Powder Room
- 

TRIM

18 - 19

1. Interior Doors – Textured 6-Panel Hardboard Throughout
2. MDF Colonial Casing and Base Throughout
3. Closet Openings Cased with Side Jambs, Casing Side and Top – Room Side Only
4. Stained 1 x 8 Cap on Half Wall at Center of "U" Staircase and Upper Hall

**ALL TRADES - SEE GENERAL DESCRIPTION**

TRIM (Cont'd)

5. Stained Cap at Half Wall at Kitchen / Family Room & Kitchen / Dinette
6. Stained White Pine Hand Rails at Staircase to 2<sup>nd</sup> Floor and Basement

PAINT

37

1. EXTERIOR:
  - a. Paint Front Entry Door & Trim
2. INTERIOR:
  - a. Stain – (1) Color Throughout
    1. Hand Rails and Wood Caps at Half Walls at Staircase and Wood Caps at Half Walls at Kitchen / Family Room and Kitchen / Dinette
  - b. Paint
    1. Interior Walls - (1) Color Throughout
      - a. (2) Coat Flat Finish
    2. Basement Stairs and Steel - (1) Coat of Gray
    3. Interior of Steel Doors - (1) Color
      - a. DO NOT PAINT Garage / Laundry Room Fire Door
    4. MDF Interior Trim
    5. Interior Doors – 6-Panel Hardboard Throughout
3. Pre-finished Garage Overhead Door - DO NOT PAINT

CERAMIC TILE

42

1. Towel Bars and Paper Holders

COUNTERTOPS

43

1. Plastic Laminate - Kitchen and Main Bath
  - a. Allowance: Formica
  - b. Oval Sink in Main Bath
2. Pedestal Sink in Powder Room

CARPET

45

1. Lower Hall from Foyer to Family Room, Family Room, Stairs, Upper Hall and All Bedrooms
2. Allowance: Mohawk 1D98 Prime Cut with Classic Bonded Pad  
(1) Color Throughout

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**GLASS BLOCK**  
47

1. None

---

**MIRRORS**  
63

1. Powder Room: Oval Bevel Mirror
2. Main Bath: 36" x 42"

---

**CONCRETE**  
53

1. Front Porch Pad – 8'-0 x 6'-0
2. Walk and Step from Porch to Driveway
3. Wood Steps Garage to Main House
4. Wood Steps to Grade off Dinette

---

**DRIVEWAY**  
56

1. Blacktop – No Sealer

---

**LANDSCAPING**  
54

1. Per Subdivision
2. 4" Topsoil Machine and Hand Raked

---

**SHELVING**  
18

1. Ventilated Vinyl Coated Wire Shelving in All Closets
2. (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer Area in Laundry Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

## Changes in Patio Home Specs

CENTRAL SQUARE VILLAS

LIVINGSTON

General	
1.	Changed square footage from 1,371 / 1,383 / 1,413 to 1,366 / 1,381 / 1,413 square feet of floor area.
2.	Removed prewire for future security system.
Windows	
3.	Changed family room – (2) single double hungs to family room rear wall – (2) single double hungs.
4.	Added family room end wall – (2) single double hungs – end units only.
Siding	
5.	Added Green Guard value house wrap.
Electrical	
6.	Deleted prewire for future security system.
7.	Changed 150 AMP service to 125 Amp service.
Insulation	
8.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
Appliances	
9.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
Carpet	
10.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.

Revised: 1/01/11

Supersedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION  
SPECIFICATIONS FOR  
**CENTRAL SQUARE VILLA TOWNHOMES**  
**THE LIVINGSTON**  
**2011 SPECS**

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

**GENERAL DESCRIPTION - ALL TRADES**

**CODE #**

1. Two Story with:
  - a. 1,366 / 1,381 / 1,413 Square Feet of Floor Area
  - b. Elevation "1" with 8'-10 x 4'-0 Covered Front Porch with  
(1) Wood Post and Vinyl Ceiling
    - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
    - Crystal Diamonds Lite with Brass Caming
    - ~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room
  - c. (2) Car Attached Garage with 16'-0 Overhead Door
  - d. (2) Bedrooms
  - e. 1 ½ Baths
    - ~ Powder Room: Oval Bevel Mirror
    - ~ Main Bath: 48" x 42" Mirror
  - f. 8'-0 Finished Ceilings 1<sup>st</sup> and 2<sup>nd</sup> Floors
  - g. Stained Cap at Half Wall at Upper Stairs
  - h. Family Room
  - i. Kitchen Cabinet Layout with Peninsula with 10" Countertop Overhang
  - j. Dinette
  - k. 2<sup>nd</sup> Floor Laundry Room
  - l. 17'-2 x 10'-0 Covered Porch off Dinette with (2) Wood Posts and Vinyl Ceiling

**ALL TRADES - SEE GENERAL DESCRIPTION**

- m. 7'-0 Basement Walls
  - ~ No Window in Basement
  - ~ Delta MS Foundation Water Barrier
- n. 7/16" OSB Sheathing Board – Roof and Side Walls
- o. 3/4" OSB Subfloor Throughout
- p. No Fireplace
- q. Pella Encompass Vinyl Double Hung Windows
  - ~ White Exterior and Interior
  - ~ Inserts between the Glass – Pre-finished White both Sides  
at Upper Sash Only at Front Windows

**ALL TRADES - SEE GENERAL DESCRIPTION**



**WINDOWS**

12

1. Vinyl Insulated Double Hung Windows
  - a. **Pella Encompass – White Exterior & Interior**
2. Family Room Rear Wall – (2) Single Double Hungs
3. Family Room End Wall – (2) Single Double Hungs – End Units Only
4. Dinette – (1) Twin Double Hung
5. Bedroom #2 – (1) Twin Double Hung
6. Master Bedroom – (1) Twin Double Hung

**PATIO DOOR**

13

1. Dinette – 6'-0 Sliding Door
  - a. **Pella Encompass – White Exterior & Interior**

**INSERTS & SCREENS**

14

1. Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows Only
2. Full Screens on Double Hung Windows
3. Screen at Dinette Sliding Door

**DOORS**

15

1. Exterior:
  - a. Front Entry: Therma Tru Smooth Star Fiberglass Door
  - b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door
    1. Factory Finished Frame – Door Painted by Big "L" Dist.
2. Door Hardware:
  - a. Interior Doors: Schlage Knobs – Antique Brass Finish
  - b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish
  - c. Front Door: Schlage Knob with Single Cylinder Deadbolt - Antique Brass Finish

**GARAGE DOOR**

24

1. 16'-0 x 7'-0 - (4) Section (8) Raised Panel Steel - Model #5120
  - a. Pre-finished - No Painting

**ROOFING**

25

1. 3-in-1 Butt Tab
2. Roof Vents and/or Ridge Vents as per Plan
3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under
4. Covered Front Porch and Rear Porch

**ALL TRADES - SEE GENERAL DESCRIPTION**

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**SIDING**

26

1. Vinyl Siding - Double 4"
  2. Maintenance Free Soffit System
  3. Vinyl Ceilings at Front Porch and Rear Porch
  4. Green Guard Value House Wrap
- 

**HEATING**

28

1. Gas Forced Air Heat - 80% Efficient Furnace
  2. Honeywell TH4110 Set-Back Thermostat
  3. Add Ductwork for:
    - a. Kitchen Hood Fan to be NON-DUCTED
    - b. Powder Room – Broan #688 50 CFM Fan
    - c. Main Bath – Broan #671 70 CFM Fan
    - d. Laundry Room – Broan #688 50 CFM Fan & Dryer Vent
    - e. Exhaust Fans Vent to Roof Jacks
  4. Venting for 40 Gallon Hot Water Heater
  5. Prep for Future Air Conditioning on Furnace – No Coil
  6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future Air Conditioning
- 

**PLUMBING**

27

1. Main Bath:
  - a. Sterling 71090110/20-0 Acclaim 60" x 33" x 72" Tub & Shower – White with Shower Rod  
~ Kohler K-P304-K-NA/P15601-4S-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044-0 Elliot 20" x 17" Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White
2. Powder Room:
  - a. (1) ProFlo PF4600/4604 Pedestal Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - b. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat – White

**ALL TRADES - SEE GENERAL DESCRIPTION**

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PLUMBING (Cont'd)

3. Kitchen:
  - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink
    - ~ Kohler K-P15171-CP Chrome Faucet – No Spray Hose
    - ~ Chrome Strainer
  - b. Dishwasher Hook-up
  - c. No Disposal
4. Laundry Room – Washing Machine Box and Overflow Pan
5. No Laundry Tray
6. 40 Gallon Hot Water Heater - Gas
7. 1750 GPH Submersible Sump Pump in Basement
8. (2) Exterior Cold Water Faucets – (1) at Front, (1) at Rear
9. Gas Lines Only to Range and Dryer Areas

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ELECTRICAL

29

1. (1) Control Plug in Family Room and All Bedrooms
2. Wire for Basic Exhaust Fans in Powder Room, Main Bath and Laundry Room
3. GFCI Protected Outlets in Kitchen, Powder Room and Main Bath
4. (1) 15 AMP GFCI Protected Outlet in Basement
5. (1) 15 AMP GFCI Protected Outlet in Garage
6. (2) Exterior GFCI Protected Weatherproof Outlets – (1) at Front, (1) at Rear
7. 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
8. Hook-up Dishwasher
9. No Disposal
10. Wire for Future Garage Door Opener
11. 125 AMP Service
12. All Basement Lights on (1) Switch
13. No 220 Lines to Range or Dryer Areas

**ALL TRADES - SEE GENERAL DESCRIPTION**

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ELECTRICAL (Cont'd)

14. Recess Lights:
  - a. Foyer / Lower Hall: (2) Recess on 3-way Switch
  - b. Kitchen: (1) Recess above Sink
  - c. Mud Room: (1) Recess
  - d. Upper Hall: (3) Recess on 4-way Switch
15. Fluorescent Fixtures:
  - a. Laundry Area: (1) Uncovered Fixture
  - b. Master Walk-in Closet: (1) Covered Fixture
16. Pre-selected Exterior Fixtures
  - a. Front Entry & Garage Front
  - b. Dinette Door
17. Interior Fixtures per Package

---

AUDIO / VIDEO

29

1. (2) Phone Outlets
2. (3) Cable TV Outlets
3. 2" PVC Chase from Basement to Attic Crawl Space for Future Wiring

---

INSULATION

35

1. Firewall per Plan
2. Living Space Only - With 2 Mil Polywrap:  
R-13 Walls (3 3/8"); R-38 Ceiling
3. White-Faced "Wallfast" R-19 Basement Blanket Insulation -  
Per Town Codes
4. Styrofoam Baffles in Rafter Bays at Soffit

---

WALLBOARD

36

1. Firewall per Plan
2. Board Complete House, Including Garage
3. Texture Spray Ceilings Throughout, EXCEPT Garage
4. Special:
  - a. (1) Coat Finished Drywall - Garage Walls and Ceiling
  - b. All Bi-pass Closet Door Openings - Metal Corner Bead Inside  
Corner Only

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

WALLBOARD (Cont'd)

5. Recess Lights – Foyer / Lower Hall (2), Kitchen (1), Mud Room (1),  
Upper Hall (2)
6. Main Bath - Tub/Shower Module
7. Capped Half Wall at Upper Stairs

---

GUTTERS  
24

1. 5" Aluminum with 3" Conductors

---

SHEET VINYL  
42

1. Foyer to Staircase Wall, Mud Room, Powder Room, Kitchen, Dinette,  
Laundry Room and Main Bath
2. Allowance: Armstrong Initiator
3. MDF Base and Shoe Molding Throughout
4. Any Sheet Vinyl to Carpet Transition will have Metal Edging

---

HARDWOOD FLOORS  
46

1. Optional

---

APPLIANCES  
41

1. Dishwasher – Whirlpool DU1015XTX

---

CABINETS  
40

1. Kitchen and Main Bath
2. Allowance: Homecrest Fulton Oak Finish Square Recess Panel Door
  - a. Handles or Knobs Included
  - b. No Roll-out Trays
  - c. No Cabinet above Refrigerator
3. Pedestal Sink in Powder Room

---

TRIM  
18 - 19

1. Interior Doors – Textured 6-Panel Hardboard Throughout
2. MDF Colonial Casing and Base Throughout
3. Closet Openings Cased with Side Jambs, Casing Side and Top –  
Room Side Only

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

TRIM (Cont'd)

4. Stained 1 x 8 Cap on Half Wall at Upper Stairs
  5. White Pine Hand Rail at Staircase to 2<sup>nd</sup> Floor and Basement
- 

PAINT

37

1. EXTERIOR:
    - a. Paint Front Entry Door & Trim
  2. INTERIOR:
    - a. Stain – (1) Color Throughout
      1. Hand Rails & Wood Cap at Half Wall at Upper Stairs
    - b. Paint
      1. Interior Walls - (1) Color Throughout
        - a. (2) Coat Flat Finish
      2. Basement Stairs and Steel - (1) Coat of Gray
      3. Interior of Steel Doors - (1) Color
        - a. DO NOT PAINT Garage / Mud Room Door
      4. MDF Interior Trim
      5. Interior Doors – 6-Panel Hardboard Throughout
  3. Pre-finished Garage Overhead Door - DO NOT PAINT
- 

CERAMIC TILE

42

1. Towel Bars and Paper Holders
- 

COUNTERTOPS

43

1. Plastic Laminate - Kitchen and Main Bath
    - a. Allowance: Formica
    - b. Oval Sink in Main Bath
  2. Pedestal Sink in Powder Room
- 

CARPET

45

1. Lower Hall at Staircase, Family Room, Stairs, Upper Hall & All Bedrooms
  2. Allowance: Mohawk 1D98 Prime Cut with Classic Bonded Pad  
(1) Color Throughout
- 

GLASS BLOCK

47

1. None
- 

**ALL TRADES - SEE GENERAL DESCRIPTION**

**MIRRORS**  
63

1. Powder Room: Oval Bevel Mirror
  2. Main Bath: 48" x 42"
- 

**CONCRETE**  
53

1. Front Porch Pad – 8'-10 x 4'-0
  2. Rear Porch Pad – 17'-2 x 10'-0
  3. Walk and Step from Porch to Driveway
  4. Wood Step Garage to Main House
- 

**DRIVEWAY**  
56

1. Blacktop – No Sealer
- 

**LANDSCAPING**  
54

1. Per Subdivision
  2. 4" Topsoil Machine and Hand Raked
- 

**SHELVING**  
18

1. Ventilated Vinyl Coated Wire Shelving in All Closets
2. (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer Area in Laundry Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

# Changes in Patio Home Specs

CENTRAL SQUARE VILLAS

WINSTON

General	
1.	Changed square footage from 1,272 / 1,287 / 1,316 to 1,266 / 1,285 / 1,316 square feet of floor area.
2.	Removed prewire for future security system.
Windows	
3.	Added family room end wall – (2) single double hungs – end units only.
Siding	
4.	Added Green Guard value house wrap.
Electrical	
5.	Deleted prewire for future security system.
6.	Changed 150 AMP service to 125 Amp service.
Insulation	
7.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
Appliances	
8.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
Carpet	
9.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.



Revised: 1/01/11

Supersedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION  
SPECIFICATIONS FOR  
**CENTRAL SQUARE VILLA TOWNHOMES**  
**THE WINSTON**  
**2011 SPECS**

PURCHASER:

ADDRESS:

SUBDIVISION:

CONTRACT DATE:

CODE:

COORDINATOR:

DRIVEWAY:

DATE MAILED:

**GENERAL DESCRIPTION - ALL TRADES**

CODE #

1. Two Story with:
  - a. 1,266 / 1,285 / 1,316 Square Feet of Floor Area
  - b. Elevation "1" with 8'-10 x 4'-0 Covered Front Porch with
    - (1) Wood Post and Vinyl Ceiling
    - ~ Therma Tru S726 Smooth Star Fiberglass Front Door
    - Crystal Diamonds Lite with Brass Caming
    - ~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room
  - c. (2) Car Attached Garage with 16'-0 Overhead Door
  - d. (2) Bedrooms
    - ~ 1<sup>st</sup> Floor Master Bedroom with Walk-in Closet
  - e. 2 ½ Baths
    - ~ Powder Room: Oval Bevel Mirror
    - ~ Master Bath: 48" x 42" Mirror
    - ~ Main Bath: 48" x 42" Mirror
  - f. 8'-0 Finished Ceilings 1<sup>st</sup> and 2<sup>nd</sup> Floors
  - g. Family Room
  - h. Kitchen / Dinette
    - ~ "L" Cabinet Layout with 45" high Half Wall with Stained Cap at Family Room
  - i. Mud Room with Laundry Closet

**ALL TRADES - SEE GENERAL DESCRIPTION**

- j. Upper Hall with Computer Niche Area
  - ~ Partial Capped Half Wall at Niche / Staircase
- k. 7'-0 Basement Walls
  - ~ No Window in Basement
  - ~ Delta MS Foundation Water Barrier
- l. 7/16" OSB Sheathing Board – Roof and Side Walls
- m. 3/4" OSB Subfloor Throughout
- n. No Fireplace
- o. Pella Encompass Vinyl Double Hung Windows
  - ~ White Exterior and Interior
  - ~ Inserts between the Glass – Pre-finished White both Sides  
at Upper Sash Only of Front Windows

**ALL TRADES - SEE GENERAL DESCRIPTION**

**WINDOWS**  
12

1. Vinyl Insulated Double Hung Windows
  - a. **Pella Encompass – White Exterior & Interior**
2. Master Bedroom – (1) Twin Double Hung
3. Bedroom #2 – (1) Twin Double Hung
4. Family Room End Wall – (2) Single Double Hungs – End Units Only

**PATIO DOOR**  
13

1. Kitchen / Dinette – 6'-0 Sliding Door
  - a. **Pella Encompass – White Exterior & Interior**

**INSERTS & SCREENS**  
14

1. Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows Only
2. Full Screens on Double Hung Windows
3. Screen at Kitchen / Dinette Sliding Door

**DOORS**  
15

1. Exterior:
  - a. Front Entry: Therma Tru Smooth Star Fiberglass Door
  - b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door
    1. Factory Finished Frame – Door Painted by Big "L" Dist.
2. Door Hardware:
  - a. Interior Doors: Schlage Knobs – Antique Brass Finish
  - b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish
  - c. Front Door: Schlage Knob with Single Cylinder Deadbolt - Antique Brass Finish

**GARAGE DOOR**  
24

1. 16'-0 x 7'-0 - (4) Section (8) Raised Panel Steel - Model #5120
  - a. Pre-finished - No Painting

**ROOFING**  
25

1. 3-in-1 Butt Tab
2. Roof Vents and/or Ridge Vents as per Plan
3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under
4. Covered Front Porch

**ALL TRADES - SEE GENERAL DESCRIPTION**

---

**SIDING**

26

1. Vinyl Siding - Double 4"
  2. Maintenance Free Soffit System
  3. Vinyl Ceiling at Front Porch
  4. Green Guard Value House Wrap
- 

**HEATING**

28

1. Gas Forced Air Heat - 80% Efficient Furnace
  2. Honeywell TH4110 Set-Back Thermostat
  3. Add Ductwork for:
    - a. Kitchen Hood Fan to be NON-DUCTED
    - b. Powder Room – Broan #688 50 CFM Fan
    - c. Main Bath - Broan #671 70 CFM Fan
    - d. Master Bath Water Closet – Broan #657 70 CFM Fan/Light Combo
    - e. Laundry Closet – Broan #688 50 CFM Fan & Dryer Vent
    - f. Exhaust Fans Vent to Roof Jacks
  4. Venting for 40 Gallon Hot Water Heater
  5. Prep for Future Air Conditioning on Furnace – No Coil
  6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future Air Conditioning
- 

**PLUMBING**

27

1. Master Bath:
  - a. Sterling 72220100-0 Ensemble Curve 48" Shower – No Seat – White  
~ Kohler K-P304-K-NA/K-P15611-4-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044-0 Elliot 20" x 17" Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White
2. Main Bath:
  - a. Sterling 71090110/20-0 Acclaim 60" x 30" x 72" Tub & Shower –  
White with Shower Rod  
~ Kohler K-P304-K-NA/P15601-4S-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044 Elliot 20" x 17" Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat – White

**ALL TRADES - SEE GENERAL DESCRIPTION**

PLUMBING (Cont'd)

3. Powder Room:
  - a. (1) ProFlo PF4600/4604 Pedestal Sink – White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - b. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White
4. Kitchen:
  - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink  
~ Kohler K-P15171-CP Chrome Faucet – No Spray Hose  
~ Chrome Strainer
  - b. Dishwasher Hook-up
  - c. No Disposal
5. Laundry Closet – Washing Machine Box
6. No Laundry Tray
7. 40 Gallon Hot Water Heater - Gas
8. 1750 GPH Submersible Sump Pump in Basement
9. (2) Exterior Cold Water Faucets – (1) at Front, (1) at Rear
10. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

1. (1) Control Plug in Family Room and All Bedrooms
2. Wire for Basic Exhaust Fans in Powder Room, Main Bath, Master Bath and Laundry Closet
3. GFCI Protected Outlets in Kitchen, Powder Room, Main Bath and Master Bath
4. (1) 15 AMP GFCI Protected Outlet in Basement
5. (1) 15 AMP GFCI Protected Outlet in Garage
6. (2) Exterior GFCI Protected Weatherproof Outlets –  
(1) at Front, (1) at Rear
7. 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or  
Optional Non-Ducted Microwave/Hood/Fan
8. Hook-up Dishwasher
9. No Disposal
10. Wire for Future Garage Door Opener

**ALL TRADES - SEE GENERAL DESCRIPTION**

ELECTRICAL (Cont'd)

11. 125 AMP Service
  12. All Basement Lights on (1) Switch
  13. No 220 Lines to Range or Dryer Areas
  14. Recess Lights:
    - a. Foyer / Hall at Bottom of Stairs: (2) Recess on 3-way Switch
    - b. Kitchen / Dinette: (2) Recess on (1) Switch &  
(1) Recess on Separate Switch above Sink
    - c. Mud Room: (2) Recess on (1) Switch
    - d. Staircase: (1) Recess at Top of Stairs on 3-way Switch
    - e. Upper Hall / Niche Area: (2) Recess on (1) Switch
  15. Fluorescent Fixtures:
    - a. Laundry Closet: 2'-0 Uncovered Fixture
    - b. Master Walk-in Closet: Covered Fixture
  16. Pre-selected Exterior Fixtures
    - a. Front Entry & Garage Front
    - b. Kitchen / Dinette Door
  17. Interior Fixtures per Package
- 

AUDIO / VIDEO

29

1. (2) Phone Outlets
  2. (3) Cable TV Outlets
  3. 2" PVC Chase from Basement to Attic Crawl Space for Future Wiring
- 

INSULATION

35

1. Firewall per Plan
2. Living Space Only - With 2 Mil Polywrap:  
R-13 Walls (3 3/8"); R-38 Ceiling
3. White-Faced "Wallfast" R-19 Basement Blanket Insulation -  
Per Town Codes
4. Styrofoam Baffles in Rafter Bays at Soffit

**ALL TRADES - SEE GENERAL DESCRIPTION**

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**WALLBOARD**

36

1. Firewall per Plan
  2. Board Complete House, Including Garage
  3. Texture Spray Ceilings Throughout, EXCEPT Garage
  4. Special:
    - a. (1) Coat Finished Drywall - Garage Walls and Ceiling
    - b. All Bi-pass Closet Door Openings – Metal Corner Bead Inside Corner Only
  5. Recess Lights – Foyer / Lower Hall (2), Kitchen / Dinette (3), Mud Room (2), Staircase (1), Upper Hall / Niche (2)
  6. Main Bath - Tub/Shower Module
  7. Master Bath – Shower Module
  8. Capped Half Walls at Lower Stairs and Upper Hall / Staircase
  9. Capped Half Wall at Family Room / Kitchen
- 

**GUTTERS**

24

1. 5" Aluminum with 3" Conductors
- 

**SHEET VINYL**

42

1. Foyer to End of Guest Closet at Staircase, Mud Room, Laundry Area, Powder Room, Kitchen / Dinette, Main Bath and Master Bath
  2. Allowance: Armstrong Initiator
  3. MDF Base and Shoe Molding Throughout
  4. Any Sheet Vinyl to Carpet Transition will have Metal Edging
- 

**HARDWOOD FLOORS**

46

1. Optional
- 

**APPLIANCES**

41

1. Dishwasher – Whirlpool DU1015XTX

**ALL TRADES - SEE GENERAL DESCRIPTION**

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**CABINETS**

40

1. Kitchen, Main Bath and Master Bath
2. Allowance: Homecrest Fulton Oak Finish Square Recess Panel Door
  - a. Handles or Knobs Included
  - b. No Roll-out Trays
  - c. No Cabinet above Refrigerator
3. Pedestal Sink in Powder Room

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**TRIM**

18 - 19

1. Interior Doors – Textured 6-Panel Hardboard Throughout
2. MDF Colonial Casing and Base Throughout
3. Closet Openings Cased with Side Jambs, Casing Side and Top – Room Side Only
4. Stained Cap at Half Walls at Lower Stairs and Upper Hall / Staircase
5. Stained Cap at Half Wall at Family Room / Kitchen
6. Stained White Pine Hand Rail at Staircase to 2nd Floor and Basement

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**PAINT**

37

1. EXTERIOR:
  - a. Paint Front Entry Door & Trim
2. INTERIOR:
  - a. Stain – (1) Color Throughout
    1. Hand Rails and Wood Caps at Half Walls at Lower Stairs, Upper Hall / Staircase and Family Room / Kitchen
  - b. Paint
    1. Interior Walls - (1) Color Throughout
      - a. (2) Coat Flat Finish
    2. Basement Stairs and Steel - (1) Coat of Gray
    3. Interior of Steel Doors - (1) Color
      - a. DO NOT PAINT Garage / Mud Room Door
    4. MDF Interior Trim
    5. Interior Doors – 6-Panel Hardboard Throughout
3. Pre-finished Garage Overhead Door - DO NOT PAINT

**ALL TRADES - SEE GENERAL DESCRIPTION**



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<b>CERAMIC TILE</b> 42	1. Towel Bars and Paper Holders
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<b>COUNTERTOPS</b> 43	1. Plastic Laminate – Kitchen, Main Bath and Master Bath a. Allowance: Formica b. Oval Sinks in Main Bath and Master Bath 2. Pedestal Sink in Powder Room
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<b>CARPET</b> 45	1. Lower Hall from Foyer Closet Wall to Family Room, Family Room, Stairs, Upper Hall, All Bedrooms and Master Walk-in Closet 2. Allowance: Mohawk 1D98 Prime Cut with Classic Bonded Pad (1) Color Throughout
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<b>GLASS BLOCK</b> 47	1. None
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<b>MIRRORS</b> 63	1. Powder Room: Oval Bevel Mirror 2. Main Bath: 48" x 42" 3. Master Bath: 48" x 42" a. 4'-0 Bi-pass Shower Enclosure with Chrome Trim and Clear or Aquatex Glass
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<b>CONCRETE</b> 53	1. Front Porch Pad – 8'-10 x 4'-0 2. Walk and Step from Porch to Driveway 3. Wood Step Garage to Main House 4. Wood Steps to Grade off Kitchen / Dinette
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<b>DRIVEWAY</b> 56	1. Blacktop – No Sealer
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<b>LANDSCAPING</b> 54	1. Per Subdivision 2. 4" Topsoil Machine and Hand Raked
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**ALL TRADES - SEE GENERAL DESCRIPTION**

**SHELVING**

18

1. Ventilated Vinyl Coated Wire Shelving in All Closets
2. (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer Area in Laundry Closet

**ALL TRADES - SEE GENERAL DESCRIPTION**

# Changes in Patio Home Specs

CENTRAL SQUARE VILLAS

YORK

General	
1.	Changed square footage from 1,035 / 1,045 to 1,038 / 1,046 square feet of floor area.
2.	Changed master bath mirror from 48"x42" to 36"x42".
3.	Removed prewire for future security system.
Windows	
4.	Added family room end wall – (2) single double hungs – end units only.
Siding	
5.	Added Green Guard value house wrap.
Electrical	
6.	Deleted prewire for future security system.
7.	Changed 150 Amp service to 125 Amp service.
8.	Changed recessed lights in kitchen/dinette from (2) recess on (1) switch to (4) recess on (2) switches.
9.	Removed covered fluorescent fixture from master walk-in closet.
Insulation	
10.	Changed R-11 basement blanket insulation to R-19 basement blanket insulation.
Wallboard	
11.	Changed recessed lights in kitchen from (3) to (5).
Appliances	
12.	Changed dishwasher model from Whirlpool DU915PWS to Whirlpool DU1015XTX.
Carpet	
13.	Changed carpet allowance from Mohawk 9420 Matfield to Mohawk 1D98 Prime Cut.
Mirrors	
14.	Changed master bath mirror from 48"x42" to 36"x42".

Revised: 1/01/11  
Supersedes: 11/01/10

THE MARRANO/MARC EQUITY CORPORATION  
SPECIFICATIONS FOR  
**CENTRAL SQUARE VILLA TOWNHOME  
THE YORK  
2011 SPECS**

PURCHASER:  
SUBDIVISION:  
CODE:  
DRIVEWAY:

ADDRESS:  
CONTRACT DATE:  
COORDINATOR:  
DATE MAILED:

**GENERAL DESCRIPTION - ALL TRADES**

- |   | CODE # |
|---|--------|
| 1. Ranch with:  |        |
| a. 1,038 / 1,046 Square Feet of Floor Area  |        |
| b. Elevation "1" with 5'-8 x 5'-2 Covered Front Porch with<br>(1) Wood Post and Vinyl Ceiling<br>~ Therma Tru S726 Smooth Star Fiberglass Front Door<br>- Crystal Diamonds Lite with Brass Caming<br>~ FF-21 6-Panel Steel Fire Door at Garage / Mud Room |        |
| c. (1) Car Attached Garage with 9'-0 Overhead Door  |        |
| d. (2) Bedrooms   |        |
| e. (2) Baths<br>~ Main Bath: 36" x 42" Mirror<br>~ Master Bath: 36" x 42" Mirror  |        |
| f. 8'-0 Finished Ceilings   |        |
| g. Living Room  |        |
| h. Kitchen / Dinette<br>~ "L" Cabinet Layout with 45" high Half Wall with Stained Cap<br>at Living Room   |        |
| i. Mud Room with Laundry Closet with Bi-fold Doors  |        |
| j. 12'-0 x 9'-0 Covered Porch off Dinette with (1) Wood Post<br>and Vinyl Ceiling   |        |

**ALL TRADES - SEE GENERAL DESCRIPTION**

- k. 7'-0 Basement Walls
  - ~ No Window in Basement
  - ~ Delta MS Foundation Water Barrier
- l. 7/16" OSB Sheathing Board – Roof and Side Walls
- m. 3/4" OSB Subfloor Throughout
- n. No Fireplace
- o. Pella Encompass Vinyl Double Hung Windows
  - ~ White Exterior and Interior
  - ~ Inserts between the Glass – Pre-finished White both Sides  
at Upper Sash Only of Front Windows

**ALL TRADES - SEE GENERAL DESCRIPTION**

**WINDOWS**  
12

1. Vinyl Insulated Double Hung Windows
  - a. **Pella Encompass – White Exterior & Interior**
2. Kitchen / Dinette: (1) Twin Double Hung
3. Master Bedroom – (1) Twin Double Hung
4. Bedroom #2 – (1) Twin Double Hung
5. Family Room – (2) Single Double Hungs – End Units Only

**PATIO DOOR**  
13

1. Kitchen / Dinette – 6'-0 Sliding Door
  - a. **Pella Encompass – White Exterior & Interior**

**INSERTS & SCREENS**  
14

1. Pre-Finished White Inserts between the Glass at Upper Sash Only of Front Windows Only
2. Full Screens on Double Hung Windows
3. Screen at Kitchen / Dinette Sliding Door

**DOORS**  
15

1. Exterior:
  - a. Front Entry: Therma Tru Smooth Star Fiberglass Door
  - b. Garage / Mud Room: FF-21 6-Panel Steel Fire Door
    1. Factory Finished Frame – Door Painted by Big "L" Dist.
2. Door Hardware:
  - a. Interior Doors: Schlage Knobs – Antique Brass Finish
  - b. Fire Door: Schlage Key-n-Knob – Antique Brass Finish
  - c. Front Door: Schlage Troy Knob with Single Cylinder Deadbolt - Antique Brass Finish

**GARAGE DOOR**  
24

1. 9'-0 x 7'-0 - (4) Section (4) Raised Panel Steel - Model #5120
  - a. Pre-finished - No Painting

**ROOFING**  
25

1. 3-in-1 Butt Tab
2. Roof Vents and/or Ridge Vents as per Plan
3. Ice Shield at Gutter Areas and at Roof Pitches 4/12 and Under
4. Covered Front and Rear Porch

**ALL TRADES - SEE GENERAL DESCRIPTION**

**SIDING**

26

1. Vinyl Siding - Double 4"
  2. Maintenance Free Soffit System
  3. Vinyl Ceiling at Front and Rear Porch
  4. Green Guard Value House Wrap
- 

**HEATING**

28

1. Gas Forced Air Heat - 80% Efficient Furnace
  2. Honeywell TH4110 Set-Back Thermostat
  3. Add Ductwork for:
    - a. Kitchen Hood Fan to be NON-DUCTED
    - b. Main Bath - Broan #671 70 CFM Fan
    - c. Master Bath - Broan #671 70 CFM Fan
    - d. Laundry Closet - Broan #688 50 CFM Fan & Dryer Vent
    - e. Exhaust Fans Vent to Roof Jacks
  4. Venting for 40 Gallon Hot Water Heater
  5. Prep for Future Air Conditioning on Furnace - No Coil
  6. Cold Air Returns Raised near Ceiling in All Bedrooms for Future Air Conditioning
- 

**PLUMBING**

27

1. Master Bath:
  - a. Sterling 71090110/20 Acclaim 60" x 30" x 72" Tub & Shower - White with Shower Rod  
~ Kohler K-P304-K-NA/P15601-4S-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044-0 Elliot 20" x 17" Sink - White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White
2. Main Bath:
  - a. Sterling 72200100-0 Ensemble Curve 36" Shower - No Seat - White  
~ Kohler K-P304-K-NA/K-P15611-4-CP Chrome Lever Handle Faucet
  - b. (1) Sterling 442044-0 Elliot 20" x 17" Sink - White  
~ Kohler K-P15182-LD-CP Chrome Lever Handle Faucet
  - c. Sterling 404015-0/404515-0 Round Toilet with Bemis #70 Seat - White

**ALL TRADES - SEE GENERAL DESCRIPTION**

PLUMBING (Cont'd)

3. Kitchen:
  - a. Sterling 11402-4 Southhaven Stainless Steel 33" x 22" 4-hole Double Bowl Sink
    - ~ Kohler K-P15171-CP Chrome Faucet – No Spray Hose
    - ~ Chrome Strainer
  - b. Dishwasher Hook-up
  - c. No Disposal
4. Laundry Closet – Washing Machine Box
5. No Laundry Tray
6. 40 Gallon Hot Water Heater - Gas
7. 1750 GPH Submersible Sump Pump in Basement
8. (2) Exterior Cold Water Faucets – (1) at Front, (1) at Rear
9. Gas Lines Only to Range and Dryer Areas

ELECTRICAL

29

1. (1) Control Plug in Living Room and All Bedrooms
2. Wire for Basic Exhaust Fans in Main Bath, Master Bath & Laundry Closet
3. GFCI Protected Outlets in Kitchen, Main Bath and Master Bath
4. (1) 15 AMP GFCI Protected Outlet in Basement
5. (1) 15 AMP GFCI Protected Outlet in Garage
6. (2) Exterior GFCI Protected Weatherproof Outlets – (1) at Front, (1) at Rear
7. 110 Direct Circuit for Basic Non-Ducted 30" Hood Fan or Optional Non-Ducted Microwave/Hood/Fan
8. Hook-up Dishwasher
9. No Disposal
10. Wire for Future Garage Door Opener
11. 125 AMP Service
12. All Basement Lights on (1) Switch
13. No 220 Lines to Range or Dryer Areas

**ALL TRADES - SEE GENERAL DESCRIPTION**



ELECTRICAL (Cont'd)

14. Recess Lights:
    - a. Foyer: (1) Recess with (1) Switch
    - b. Kitchen / Dinette: (4) Recess on (2) Switches & (1) Recess on Separate Switch above Sink
    - c. Mud Room: (3) Recess on 3-way Switch
    - d. Main Bath: (1) in Shower
  15. Fluorescent Fixture:
    - a. Laundry Closet: 2'-0 Uncovered Fixture
  16. Pre-selected Exterior Fixtures
    - a. Front Entry & Garage Front
    - b. Kitchen / Dinette Door
  17. Interior Fixtures per Package
- 

AUDIO / VIDEO

29

1. (2) Phone Outlets
  2. (3) Cable TV Outlets
- 

INSULATION

35

1. Firewall per Plan
  2. Living Space Only - With 2 Mil Polywrap:  
R-13 Walls (3 3/8"); R-38 Ceiling
  3. White-Faced "Wallfast" R-19 Basement Blanket Insulation -  
Per Town Codes
  4. Styrofoam Baffles in Rafter Bays at Soffit
- 

WALLBOARD

36

1. Firewall per Plan
2. Board Complete House, Including Garage
3. Texture Spray Ceilings Throughout, EXCEPT Garage
4. Special:
  - a. (1) Coat Finished Drywall - Garage Walls and Ceiling
  - b. All Bi-pass Closet Door Openings – Metal Corner Bead Inside Corner Only

**ALL TRADES - SEE GENERAL DESCRIPTION**

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WALLBOARD (Cont'd)

5. Recess Lights – Foyer (1), Kitchen (5), Mud Room (3), Main Bath (1)
6. Main Bath - Shower Module
7. Master Bath – Tub/Shower Module
8. Capped Half Wall at Living Room / Kitchen

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GUTTERS

24

1. 5" Aluminum with 3" Conductors

---

SHEET VINYL

42

1. Foyer to End of Guest Closet, Kitchen / Dinette, Mud Room, Laundry Area, Main Bath and Master Bath
2. Allowance: Armstrong Initiator
3. MDF Base and Shoe Molding Throughout
4. Any Sheet Vinyl to Carpet Transition will have Metal Edging

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HARDWOOD FLOORS

46

1. Optional

---

APPLIANCES

41

1. Dishwasher – Whirlpool DU1015XTX

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CABINETS

40

1. Kitchen, Main Bath and Master Bath
2. Allowance: Homecrest Fulton Oak Finish Square Recess Panel Door
  - a. Handles or Knobs Included
  - b. No Roll-out Trays
  - c. No Cabinet above Refrigerator

---

TRIM

18 - 19

1. Interior Doors – Textured 6-Panel Hardboard Throughout
2. MDF Colonial Casing and Base Throughout
3. Closet Openings Cased with Side Jambs, Casing Side and Top – Room Side Only
4. Stained Cap at Half Wall at Living Room / Kitchen
5. Stained White Pine Hand Rail at Stairs to Basement

**ALL TRADES - SEE GENERAL DESCRIPTION**

**PAINT**  
37

1. EXTERIOR:
  - a. Paint Front Entry Door & Trim
2. INTERIOR:
  - a. Stain – (1) Color Throughout
    1. Hand Rails and Wood Cap at Half Wall at Living Room / Kitchen
  - b. Paint
    1. Interior Walls - (1) Color Throughout
      - a. (2) Coat Flat Finish
    2. Basement Stairs and Steel - (1) Coat of Gray
    3. Interior of Steel Doors - (1) Color
      - a. DO NOT PAINT Garage / Mud Room Door
    4. MDF Interior Trim
    5. Interior Doors – 6-Panel Hardboard Throughout
3. Pre-finished Garage Overhead Door - DO NOT PAINT

**CERAMIC TILE**  
42

1. Towel Bars and Paper Holders

**COUNTERTOPS**  
43

1. Plastic Laminate – Kitchen, Main Bath and Master Bath
  - a. Allowance: Formica
  - b. Oval Sinks in Main Bath and Master Bath

**CARPET**  
45

1. Living Room and All Bedrooms
2. Allowance: Mohawk 1D98 Prime Cut with Classic Bonded Pad  
(1) Color Throughout

**GLASS BLOCK**  
47

1. None

**MIRRORS**  
63

1. Main Bath: 36" x 42"
  - a. 3'-0 Swing Door Shower Enclosure with Chrome Trim and Clear or Aquatex Glass
2. Master Bath: 36" x 42"

**ALL TRADES - SEE GENERAL DESCRIPTION**

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**CONCRETE**  
53

1. Front Porch Pad – 5'-8 x 5'-2
2. Rear Porch Pad – 12'-0 x 9'-0
3. Walk and Step from Porch to Driveway
4. Wood Step Garage to Main House

---

**DRIVEWAY**  
56

1. Blacktop – No Sealer

---

**LANDSCAPING**  
54

1. Per Subdivision
2. 4" Topsoil Machine and Hand Raked

---

**SHELVING**  
18

1. Ventilated Vinyl Coated Wire Shelving in All Closets
2. (1) Ventilated Vinyl Coated Wire Shelf above Washer / Dryer in Laundry Closet in Mud Room

**ALL TRADES - SEE GENERAL DESCRIPTION**

*Continuation of*

Description of Property and Specifications  
or Building Conditions for:

## CENTRAL SQUARE VILLAS

Town of Lancaster  
Erie County, New York



A handwritten signature in black ink, appearing to read "Richard Skop", written over the bottom portion of the professional seal.

3/3/11

Richard Skop  
Licensed Engineer  
3160 Rt. 394  
PO Box 151  
Stow, New York 14758

March 2011

Description of  
Central Square Villas Condominium Association  
Property and Specifications

**(a) Location and Use of Property**

*See Greenman-Pedersen, Inc. report*

**(b) Status of Construction**

*See Greenman-Pedersen, Inc. report*

**(c) Site**

*See Greenman-Pedersen, Inc. report*

**(d) Utilities**

*See Greenman-Pedersen, Inc. report*

**(e) Sub-Soil Conditions**

*See Greenman-Pedersen, Inc. report*

**(f) Landscaping and Enclosures**

- (1) Grass Cover: Grass will cover the entire Condominium property with the exception of the building footprints, roadways, driveways, walkways, pool and pond. The site will be seeded with a standard grass seed mix.
- (2) Plantings: The property will be landscaped utilizing a standard landscape design. Please refer to the landscape plan attached to this report.
- (3) Trees: Various trees will be located throughout the property. Please refer to the landscape plan attached to this report.
- (4) Fencing: A wood fence will run along the eastern edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (5) Gates: Not applicable.
- (6) Garden Wall: Not applicable.
- (7) Retaining Wall: Not applicable.
- (8) Display Pools and Foundations: Not applicable.

**(g) Unit/Building Size:**

Four (4) unit types will be offered to Purchaser. The Cambridge consists of approximately 1,236, 1,238 and 1,270 square feet. The Livingston consists of approximately 1,366 and 1,381 square feet. The Winston consists of 1,266 and 1,285 square feet. The York consists of approximately 1,038 and 1,046 square feet.

Description of  
Central Square Villas Condominium Association  
Property and Specifications

Three (3) Hybrid unit types will be offered to Purchaser within one (1) Hybrid Building. The Hybrid Cambridge consists of approximately 1,243 square feet. The Hybrid Livingston consists of approximately 1,413 square feet. The Hybrid Winston consists of approximately 1,316 square feet.

**A. The Cambridge**

- (1) Total Height: The total height of The Cambridge unit is approximately 28'-9" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 120 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

**B. The Livingston**

- (1) Total Height: The total height of The Livingston unit is approximately 27'-7" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

Description of  
Central Square Villas Condominium Association  
Property and Specifications

**C. The Winston**

- (1) Total Height: The total height of The Winston unit is approximately 27'-7" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

**D. The York**

- (1) Total Height: The total height of The York unit is approximately 26'-5" from the ground level to the highest point of the roof.
- (2) Crawl Spaces: The basement under the condominium unit will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 76 full basements throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a one floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

**E. The Hybrid Building**

- (1) Total Height: The total height of The Hybrid Building is approximately 28'-3" from the ground level to the highest point of the roof.



Description of  
Central Square Villas Condominium Association  
Property and Specifications

- (2) Crawl Spaces: The basements under the condominium building will be approximately 7'-0" from the bottom of the floor joists to the top of the concrete floor slab and none of the units will contain crawl spaces.
- (3) Number of Cellars: There will be 2 full basements for The Hybrid Cambridge, 1 full basement for The Hybrid Livingston and 1 full basement for The Hybrid Winston throughout the project and none of them will contain any type of sub basement.
- (4) Number of Floors: Each condominium unit will be a two floor layout.
- (5) Equipment Rooms: Not applicable.
- (6) Parapet: Not applicable.
- (7) No handicapped provisions are included for the units.

**(h) Structural Systems**

- (1) Exterior of Buildings:
  - (i) Walls: The foundation of the condominiums' walls shall consist of 7'-0" x 8" poured concrete walls with a minimum of 16" wide x 8" high poured concrete spread footings below. The concrete mix design requirement is a minimum compressive strength of 3,000 psi. The foundation drainage system will consist of 4" drain tile with Geotech fabric wrap on a minimum of 2" crushed rock. A layer of Delta MS wall drain / damp proofing, or equal, will be applied to the outside of the foundation walls before back filling.

The exterior walls of the condominium will be constructed with 2"x4" and 2"x6" at 16" on center wall stud framing. The walls will be insulated with Johns Mansville Formaldehyde-free Fiberglass 3 ½" R-13 batt insulation, or equal, covered on the interior side with a 2 mil poly vapor barrier. A layer of ½" Gypsum Wall Board is then applied, which will be painted. On the outside 7/16" O.S.B. sheathing is used and a barrier is applied over it. A 4" exposure vinyl siding will cover all of its sides.

Firewalls: The Hybrid Building firewall will be UL#: U334, and shall be constructed with 2"x4" at 16" on center wall stud framing. The walls will be insulated with 2" Thermafiber SAFB. A ½"x2 ½" resilient channel will be applied to one side of the stud wall framing. Two layers of 5/8" type "x" gypsum wall board is then applied to each side of the stud wall framing, with the outer layers painted. The 7/16"

Description of  
Central Square Villas Condominium Association  
Property and Specifications

O.S.B. sheathing used for exterior walls shall cover the firewalls at their termination with the exterior. The exterior walls shall abut the firewalls. The firewalls shall be continuous from the foundation to the underside of the roof sheathing. Firewalls shall be constructed following all instructions and specifications per Underwriters Laboratory (U.L.) Certification Directory.

The Condominium Buildings firewall will be UL#: U905 with the exception of the Hybrid Building as stated above and shall be constructed with 8" nominal concrete block having the D-2 (2hr.) classification and bearing the UL Classification marking. Blocks are to be laid in full bed of mortar, nominal 3/8" thick of not less than 2 ¼ and not more than 3 ½ parts of clean sharp sand to 1 part Portland cement and not more than 50 percent hydrated lime. Vertical joints staggered. The exterior walls shall abut the firewalls. The firewalls shall be continuous from the foundation to the underside of the roof sheathing. Firewalls shall be constructed following all instructions and specifications per Underwriters Laboratory (U.L.) Certification Directory.

(ii) Windows:

(a) Hybrid Building:

Pella Encompass or equal will be used in all Hybrid units. Each window has a minimum of 2 9/16" frame with a factory applied wood extension jamb and a prefinished white extruded vinyl exterior with an integral nailing fin. The interior is prefinished white.

Window warranty/guarantees are standard manufacturer warranties as offered through Pella.

The sash is steel reinforced, prefinished vinyl exterior for strength and durability. The interior is vinyl. The hardware includes factory applied locks and keeper and compression tilt jamb liners. The screen frame is vinyl with grey mesh fabric.

(b) All Other Units:

Pella Encompass or equal will be used in all Hybrid units. Each window has a minimum of 4 9/16" frame and a prefinished white extruded vinyl exterior with an integral nailing fin. The interior is prefinished white.

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Window warranty/guarantees are standard manufacturer warranties as offered through Pella.

The sash is steel reinforced, prefinished vinyl exterior for strength and durability. The interior is vinyl. The hardware includes factory applied locks and keeper and compression tilt jamb liners. The screen frame is vinyl with grey mesh fabric.

- (iii) Landmark Status: Not applicable.
- (2) Parapets and Copings: Not applicable.
- (3) Chimneys and Caps: The furnace flue (double wall sheet metal) is located in the chimney chase.
- (4) Balconies and Terraces: Not applicable.
- (5) Exterior Entrances:
  - (i) Exterior Doors and Frames: Doors are constructed of fiberglass exterior and polyurethane foam core. They have a raised panel effect for decoration. Each doorframe shall be a wood frame with weather stripping installed. The hardware shall be (3) 4"x4" non-template hinges and a single bore lock preparation. Patio door will be sliding Pella Encompass or equal.
  - (ii) Vestibule Doors and Frames: Not applicable.
  - (iii) Exterior Stairs: The condominiums will require concrete exterior stairs to grade at the front entrance and wood plank stairs at the rear patio door of each unit.
  - (iv) Railings: Exterior railings will not be required at the entrance of the home since the grade isn't low enough.
  - (v) Mailboxes: A mailbox center will be provided by the seller and located per local post office regulations.
  - (vi) Lighting: Exterior lights will be located around the home. One wall-mounted fixture will be placed at the garage door. One wall-mounted fixture will be located at the front entry door. One wall-mounted fixture will be located at the living room or dinette door (depending on model).

Description of  
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- (6) Service Entrances: Not applicable.
- (7) Roof and Roof Structures:
  - (i) Type Roofs for All Areas: Stick framed.
    - (a) Material: 2"x6", 2"x8" and 2"x10" rafters with 7/16" OSB sheathing.
    - (b) Insulation: High density R-26 Kraft faced insulation will be placed in any sloped ceiling and 6" Kraft faced double layer insulation for a total of R38 will be placed in all other ceilings. 14" baffles with 10" wide airspace will be installed in all sloped ceiling bays.
    - (c) Surface Finish: IKO Marathon or their equivalent, 235 weight self sealing fiberglass shingles will be used on all of the roofs.
    - (d) Bond or Guarantee: The IKO shingle carries a 25-year limited warranty.
    - (e) Flashing Materials: Mill finish aluminum at all vertical sidewalls and chimneys.
  - (ii) Drains:
    - (a) Not applicable.
    - (b) The gutters will be 5" seamless .032 heavy gauge aluminum, with a baked on enamel finish. They will be secured with aluminum nails and ferrules. Gutters and corners will be riveted and sealed with a liquid rubber.  
  
Down spouts will be 2"x 3" rectangular in shape with a baked on enamel finish.
  - (iii) Skylights: Not applicable.
  - (iv) Bulkheads: Not applicable.
  - (v) Metal Work at Roof Levels: Not applicable.
  - (vi) Rooftop Facilities: Not applicable.
- (8) Fire Escapes: Not applicable.

Description of  
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(9) Yards and Courts:

- (i) Paving: A 9'-0" or 16'-0" wide asphalt driveway over 6" of crushed stone will be used for all driveways to the condominium units. A 3'-0" wide x 4" deep concrete walkway poured over 4" of crushed stone will also lead from the driveway to the front entry door. A 10'x17'-2" or 9' x12'-2" concrete patio poured over crushed stone will be used for the Livingston and York models respectively.
- (ii) Drainage: The grounds of the condominium buildings will be individually graded with swales, which direct the drainage into receivers and discharge into the storm sewers. The gutter run off will be tied directly into the storm sewers.
- (iii) Railings: Not applicable.
- (iv) Stairs: Not applicable.
- (v) Fencing: A wood fence will run along the western edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (vi) Walls: Not applicable.

(10) Interior Stairs:

- (i) Number of Stairs: The Cambridge, The Livingston, The Winston, The Hybrid Cambridge, The Hybrid Livingston and The Hybrid Winston condominium unit will each have three sets of wooden stairs. The York condominium unit will each have two sets of wooden stairs.
- (ii) Enclosure: The stairs from the first floor to the second floor (where applicable). The stairs from the first floor to the basement and the step from the first floor to the garage will not be enclosed.
- (iii) Stair Construction: The stairs from the first floor to the basement will be a closed riser with a 1 ¼" nosing, the stringer will remain exposed. Tread, stringers and risers to be painted. The stairs from the first floor to the second floor will be closed risers with a 1 ¼" nosing and concealed stringers. Stringers to be painted or stained, treads and risers to be carpet covered.
- (iv) Stringers: Made of wood.

Description of  
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- (v) Treads: Made of wood.
- (vi) Risers: Made of wood.
- (vii) Guard Rails: Wood handrails are proposed on open sides of stairs.
- (viii) Balustrade: Not applicable.

(11) Interior Doors and Frames:

- (i) Unit Entrance and Interior Doors/Frames: The garage entrance door is constructed with a galvanized steel exterior and polyurethane core. The frame is a steel frame with weather stripping installed. The door meets a ¾ hour fire rating in accordance with the local fire code. A self-closing hinge is also installed.

The remaining interior doors are hardboard doors painted white.

- (ii) Corridor Doors and Frames: Not applicable.
- (iii) Stair Hall Doors and Frames: Not applicable.
- (iv) Roof Doors, Basement Doors and Frames: There will be no doors to the roof. The basement door will be hardboard painted white on a wood or MDF frame.

(12) Elevators: Not applicable.

(13) Elevator Cabs: Not applicable.

**(i) Auxiliary Facilities**

(1) Laundry Rooms: Each individual unit will contain water, drain, electric and gas hook-ups. Purchaser to provide own washer and dryer.

(2) Refuse Disposal:

- (i) Incinerators: There will be no incinerators.
- (ii) Compactors: There will be no compactors.
- (iii) Approvals: There are no approvals required.
- (iv) Initial Storage: Refuse should be stored within individual units until pick up.

Description of  
Central Square Villas Condominium Association  
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- (v) Pick Up Schedule: The Town of Lancaster will provide curbside disposal service once a week.

**(j) Plumbing and Drainage**

*See Greenman-Pedersen, Inc. report*

**(k) Heating**

- (1) Each unit will be equipped with an A.O. Smith 40-gallon capacity or equal hot water heater, 40,000 BTU input with a 6 year manufacturer's warranty. The hot water heater will be located in the basement.
- (2) Each unit will contain one furnace, a 50,000 BTU Rheem/Weatherking model #80PS05EAR or equal. The furnace models have an efficiency rating of 80% and have adequate capacity to provide heat for the home with an internal and ambient condition rate of 0° outside / 70° inside. All furnaces will be located in the basement. Heat distribution is by forced air and the fuel source is natural gas.

**(l) Gas Supply**

*See Greenman-Pedersen, Inc. report*

**(m) Air Conditioning**

To be optional.

**(n) Ventilation**

- (1) Each unit will be provided with the following ventilation systems:
  - (i) A required chimney flue as per manufacturer's specifications for each furnace.
  - (ii) Exhaust fans with a minimum air flow of 70 CMF for all baths.
  - (iii) A dryer vent in all laundries.
  - (iv) Each unit has its own individual 1 or 2-car garage. Roof vents per plan at main house and ventilated soffit throughout will provide necessary ventilation.
  - (v) There are no windowless corridors in any unit.
  - (vi) All attics will contain 10"x10" box vents with continually vented soffit and will have a ventilation rate of 1sf of ventilation per 300sf of attic space.

Description of  
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**(o) Electrical System**

- (1) New York State Electric and Gas provides electricity.
- (2) A 125 Amp service will be used. All units will have duplex outlets, with ground fault in all baths, kitchens and exterior outlets. All basement lights will be on one (1) switch.
- (3) Sixteen (16) circuits are provided for each unit, which is adequate for modern usage including air conditioning and appliances.
- (4) Copper wiring is specified in all units.
- (5) The light fixture schedule for each unit is as follows:

Cambridge

- a. 1-Ceiling light in foyer
- b. 1-Ceiling light in dinette
- c. 1-Ceiling light in kitchen
- d. 1-Ceiling light in staircase landing
- e. 1-Ceiling light in upper hall
- f. 1-Ceiling light in bedroom #2 hall at closet
- g. 1-Wall light in powder room
- h. 1-Wall light in main bath
- i. 1-Ceiling light in main bath
- j. 2-Recess light in lower hall at staircase
- k. 1-Ceiling light at basement stair landing
- l. 1-Recess light in kitchen
- m. 1-Fluorescent light in laundry room
- n. 1-Fluorescent light in master walk-in closet
- o. 1-Door chime
- p. 1-Wall light at front entry (exterior)
- q. 1-Wall light at garage front (exterior)
- r. 1-Wall light at dinette door (exterior)

Livingston

- a. 1-Ceiling light in kitchen
- b. 1-Ceiling light in dinette
- c. 1-Ceiling light in laundry room
- d. 1-Wall light in powder room
- e. 1-Wall light in main bath
- f. 1-Recess light in foyer
- g. 1-Recess light in lower hall
- h. 1-Recess light in kitchen



Description of  
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- i. 1-Recess light in mud room
- j. 3-Recess lights in upper hall
- k. 1-Fluorescent light in laundry area
- l. 1-Fluorescent light in master walk-in closet
- m. 1-Door chime
- n. 1-Wall light at front entry (exterior)
- o. 1-Wall light at garage front (exterior)
- p. 1-Wall light at dinette door (exterior)

Winston

- a. 1-Wall light in powder room
- b. 1-Wall light in main bath
- c. 1-Wall light in master bath
- d. 1-Recess light in foyer
- e. 1-Recess light in hall at bottom of stairs
- f. 3-Recess lights in kitchen/dinette
- g. 2-Recess lights in mud room
- h. 1-Recess light at top of stairs
- i. 2-Recess lights in upper hall
- j. 1-Fluorescent light in laundry closet
- k. 1-Fluorescent light in master walk-in closet
- l. 1-Wall light at front entry (exterior)
- m. 1-Wall light at garage front (exterior)
- n. 1-Wall light at kitchen/dinette door (exterior)
- o. 1-Door chime

York

- a. 1-Wall light in main bath
- b. 1-Wall light in master bath
- c. 1-Recess light in foyer
- d. 5-Recess lights in kitchen/dinette
- e. 3-Recess lights in mud room
- f. 1-Recess light in main bath
- g. 1-Fluorescent light in laundry closet
- h. 1-Recessed ceiling light at basement stair landing
- i. 1-Wall light at front entry (exterior)
- j. 1-Wall light at garage front (exterior)
- k. 1-Wall light at kitchen/dinette door (exterior)
- l. 1-Door chime

(6) Light bulbs are the responsibility of the purchaser.

(7) Television Reception Facilities: Time Warner Cable will provide Cable TV.

**(p) Intercommunication and/or Door Signal Systems, Security Closed Circuit TV**

Description of  
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The condominium units will contain a standard door chime system. The chime will be located in the foyer with the button at the front door. The purchaser, as part of the fixture allowance, will select it.

**(q) Public Area Lighting**

*See Greenman-Pedersen, Inc. report*

**(r) Garage and Parking Areas**

*See Greenman-Pedersen, Inc. report*

**(s) Swimming Pool(s)**

One swimming pool will be located within the project consisting of approximately 22,275 gallons and surrounded by a 56'-0" x 42'-0", 4" concrete pool deck.

(1) Type: The pool walls and floor shall be constructed of air implaced gunite concrete construction with a marcite finish coat. Pool walls will be designed so that walls and floor meet in a radii monolithic construction using a minimum of 4,000 lbs. test concrete. All walls and floor to have 3/8" and 1/2" reinforcing bars 12" on center. The pool will be adjacent to the Clubhouse located on the South-West corner of the development.

(2) Size: 28'-6"x18'-0"x40'-0" custom pool. 3'-0" to 4'-11" deep with concrete steps. A maximum of forty-nine (49) bathers are permitted at any one time.

(3) Enclosure: Not applicable.

(4) Pumping and Filter System: Filtration system shall be designed for a 4.4 hour turnover on the pool. System shall consist of one (1) – Sta-Rite modular media 300 square foot Cartridge Filters designed for 85 GPM and Sta-Rite 1 1/2 HP Max-E-Pro 230 Volt Single phase pump and motor complete with hair and lint strainer basket.

(5) Water Heating Equipment: Sta-Rite Max E Therm Electronic Natural gas fired, power venting pool heater – 400,000 BTU for main pool complete with necessary face piping. Heater will be complete with power venting capability.

(6) Structural Support: Not applicable.

**(t) Tennis Courts, Playgrounds and Recreation Facilities**

(1) Tennis Courts: Not applicable.

(2) Playgrounds: A tot lot, approximately 45'x50', will be located in the southwestern corner of the community. No fencing will be used; the area will be left open for the use and enjoyment of the Central Square Villas residents.

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- (3) Other Recreational Facilities (Clubhouse): A clubhouse will be located in the southwestern corner of the community and consist of approximately 1,149 square feet.
- (i) Total Height: The total height of The Clubhouse is approximately 15'-11" from the ground level to the highest point of the roof.
  - (ii) Crawl Spaces: Building will have a 4", fiber mesh reinforced slab on grade with 8"x4'-0" foundation wall over 16"x8" concrete footing. Slab to thicken to 8" at foundation wall transition.
  - (iii) Number of Cellars: Not applicable.
  - (iv) Number of Floors: The building will be a one floor layout.
  - (v) Equipment Rooms: Within main building, to contain furnace, hot water tank, pool heater, sink and other pool equipment. The room consists of approximately 132 square feet and is approximately 11'-0" x 12'-0".
  - (vi) Parapet: Not applicable.
  - (vii) Handicapped Provisions: Minimum 3'-0" doors at all passable doorways. One each, Women's and Men's accessible, single occupant, Lavatories. Slab on grade construction.

**(u) Permits and Certificates**

*See Greenman-Pedersen, Inc. report*

**(v) Violations**

*See Greenman-Pedersen, Inc. report*

**(w) Unit Information**

- (1) All construction proposed is new. The three (3) Hybrid unit types are approximately 1,243 square feet, 1,413 square feet and 1,316 square feet. The other four (4) unit types are approximately 1,236 square feet, 1,238 square feet, 1,270 square feet, 1,366 square feet, 1,381 square feet, 1,266 square feet, 1,285 square feet, 1,038 square feet and 1,046 square feet. The principal rooms are the family room, dinette, kitchen, laundry area, full bath and 2 bedrooms for all unit types offered. Some unit types contain an additional powder room and / or full bathroom.
- (2) The materials and finishes of each unit is as follows:

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- (i) Walls: ½ inch gypsum wallboard on walls and ceiling planes with two (2) coats of flat latex paint on walls and textured sprayed ceilings.
- (ii) Woodwork: Around all doors, windows and base shall be painted with two (2) coats of high-gloss trim paint or stained.

(iii) Flooring Covering:

Cambridge: The foyer, powder room, main bath, laundry room, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

Livingston: The foyer, guest closet, rear hall, powder room, main bath, laundry closet, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

Winston: The foyer, guest closet, rear hall, powder room, master bath, main bath, laundry closet, kitchen and dinette floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

York: The foyer, guest closet, hall to bedroom #2, master bath, main bath, kitchen, dinette and laundry closet floors to be equipped with Armstrong Initiator sheet vinyl or equal. The remaining floor will be carpeted with Mohawk Prime Cut carpet or equal with "Classic" bonded pad or equal.

- (iv) Kitchen cabinets will be manufactured by "Homecrest" cabinets or equal. The cabinets are equipped with wood doors with recessed panel styling. Drawer fronts will be ¾ inch thick, solid hardwood with machined edge profiles to match door front. Cabinets include full adjustable, self-closing exposed hinges and ¾ inch thick laminated adjustable shelves. Kitchen counters will have laminate or equal tops offered in optional colors to be selected by the purchaser.

(3) Appliances:

- (i) Dishwasher – Whirlpool DU1015XTX or equal.
- (ii) Range Hood – Nutone RL6130 or equal.

Description of  
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(4) Plumbing:

Cambridge

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or equal.
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

Livingston

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or equal.
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box and overflow pan.
- 2-Exterior cold water faucets.

Winston

- 1-Sterling 72220100-0 Ensemble Curve 48" shower (white) with Kohler K-P304-K-NA/K-P15611-4-CP lever handle faucet (chrome) or equal.
- 2-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 3-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or equal.
- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 1-ProFlo PF4600/4604 pedestal sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.

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 Property and Specifications

- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

York

- 1-Sterling 71090110/20-0 Acclaim 60"x30"x72" tub & shower (white) with shower rod and Kohler K-P304-K-NA/P15601-4S-CP lever handle faucet (chrome) or equal.
- 2-Sterling 442044-0 Elliot 20"x17" sink (white) with Kohler K-P15182-LD-CP lever handle faucet (chrome) or equal.
- 2-Sterling 404015-0/404515-0 round toilet with Bemis #70 seat (white) or equal.
- 1-Sterling 72220100-0 Ensemble Curve 36" shower (white) with Kohler K-P304-K-NA/K-P15611-4-CP lever handle faucet (chrome) or equal.
- 1-Sterling 11402-4 Southhaven 33"x22" 4-hole double bowl sink (stainless steel) with Kohler K-P15171-CP faucet (chrome) or equal.
- 1-Washing machine box.
- 2-Exterior cold water faucets.

**(x) Finish Schedule of Garage and Basement**

The basement floor will be a 4" thick poured concrete floor over crushed stone. An interior 4" drain tile is placed along the footing around the perimeter of the foundation.

<u>Room</u>	<u>Floor</u>	<u>Walls</u>	<u>Ceiling</u>	<u>Remarks</u>
Garage	Concrete	Gyp. Wall Board & Conc. Block	Gyp. Wall Board	None
Basement	Concrete	Concrete	Joists & Sub Floor	None

**(y) Safety and Warning Devices**

Each unit will be equipped with one (1) smoke detector and one (1) carbon monoxide detector on each floor and one (1) smoke detector in each bedroom.

**(z) Additional Information Required**

- (1) A site plan is included with this report showing locations of all building, driveways, and storm drainage and detention basin.
- (2) An area map showing the condominium site with respect to its surroundings is attached.
- (3) Four (4) basic floor plans are being offered and are included.
- (4) Minimum floor to ceiling heights for each unit is 8 ft.

Description of  
Central Square Villas Condominium Association  
Property and Specifications

(5) Landscape plan.

Sections (aa), (bb) and (cc) do not apply.

Description of  
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Property and Specifications

**(a) Location and Use of Property**

*See Greenman-Pedersen, Inc. report*

**(b) Status of Construction**

*See Greenman-Pedersen, Inc. report*

**(c) Site**

*See Greenman-Pedersen, Inc. report*

**(d) Utilities**

*See Greenman-Pedersen, Inc. report*

**(e) Sub-Soil Conditions**

*See Greenman-Pedersen, Inc. report*

**(f) Landscaping and Enclosures**

- (1) Grass Cover: Grass will cover the entire Condominium property with the exception of the building footprints, roadways, driveways, walkways, pool and pond. The site will be seeded with a standard grass seed mix.
- (2) Plantings: The property will be landscaped utilizing a standard landscape design. Please refer to the landscape plan attached to this report.
- (3) Trees: Various trees will be located throughout the property. Please refer to the landscape plan attached to this report.
- (4) Fencing: A wood fence will run along the eastern edge of the property as shown on the site plan attached to this report. An additional fence will surround the pool and be designed and installed per regulations.
- (5) Gates: Not applicable.
- (6) Garden Wall: Not applicable.
- (7) Retaining Wall: Not applicable.
- (8) Display Pools and Foundations: Not applicable.

**(g) Unit/Building Size:**

Four (4) unit types will be offered to Purchaser. The Cambridge consists of approximately 1,236, 1,238 and 1,270 square feet. The Livingston consists of approximately 1,366 and 1,381 square feet. The Winston consists of 1,266 and 1,285 square feet. The York consists of approximately 1,038 and 1,046 square feet.



**MARRANO/MARC EQUITY CORPORATION**  
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THE CAMBRIDGE 6  
 SUBLOT #  
 CENTRAL SQUARE VILLAS  
 LANCASTER

- GENERAL NOTES**
- PLANS AND SPECIFICATIONS ARE THE SOLE RESPONSIBILITY OF MARRANO/MARC EQUITY CORPORATION. CONTRACTORS SHALL VERIFY THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL, STATE, AND FEDERAL AGENCIES.
  - ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
  - CONTRACTORS SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.
  - ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
  - ALL MATERIALS SHALL BE STORED PROPERLY TO PREVENT DAMAGE AND DEGRADATION.
  - CONTRACTORS SHALL MAINTAIN A NEAT AND SAFE WORKING ENVIRONMENT AT ALL TIMES.
  - ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
  - CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL DEBRIS AND WASTE MATERIALS.

- FLOOR NOTES**
- REMOVE EXISTING FLOORING AND SUBFLOORING TO EXPOSE STRUCTURAL MEMBERS.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
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  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.

- WALL NOTES**
- DOUBLE 2x4 PLATE AT TOP OF WALL.
  - 2x4 GYPSUM WALL BOARD.
  - INTERIOR WALLS ARE 2x4 STUDS, 1/2" O.C. UNO.
  - EXPOSURE VENT LATHING OVER A LAYER OF 5/8" GYPSUM BOARD OVER 2x4 STUDS.
  - ALL INTERIOR CORNERS ARE 1/2" HIGH UNO.
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- ROOF NOTES**
- REMOVE EXISTING ROOFING AND STRUCTURE TO EXPOSE RAFTERS AND TRUSSES.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
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  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.

- TUB DECK NOTES (IF PURCHASED)**
- REMOVE EXISTING TUB DECK AND STRUCTURE.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
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  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.
  - INSTALL 1/2" GYP BOARD OVER EXISTING CONCRETE SLAB.

**FLOOR SYSTEM**

7'-0" BAYS	8'-0" BAYS	9'-0" BAYS	10'-0" BAYS	11'-0" BAYS	12'-0" BAYS
13 @ 7'-0" EACH (92'0")	13 @ 8'-0" EACH (104'0")	13 @ 9'-0" EACH (116'0")	13 @ 10'-0" EACH (128'0")	13 @ 11'-0" EACH (140'0")	13 @ 12'-0" EACH (152'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")

**TYPICAL RISER COUNT AND HEIGHT**

7'-0" BAYS	8'-0" BAYS	9'-0" BAYS	10'-0" BAYS	11'-0" BAYS	12'-0" BAYS
13 @ 7'-0" EACH (92'0")	13 @ 8'-0" EACH (104'0")	13 @ 9'-0" EACH (116'0")	13 @ 10'-0" EACH (128'0")	13 @ 11'-0" EACH (140'0")	13 @ 12'-0" EACH (152'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")

**TYPICAL CEILING HEIGHTS**

7'-0" BAYS	8'-0" BAYS	9'-0" BAYS	10'-0" BAYS	11'-0" BAYS	12'-0" BAYS
13 @ 7'-0" EACH (92'0")	13 @ 8'-0" EACH (104'0")	13 @ 9'-0" EACH (116'0")	13 @ 10'-0" EACH (128'0")	13 @ 11'-0" EACH (140'0")	13 @ 12'-0" EACH (152'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")
13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")	13 @ 7'-0" EACH (92'0")

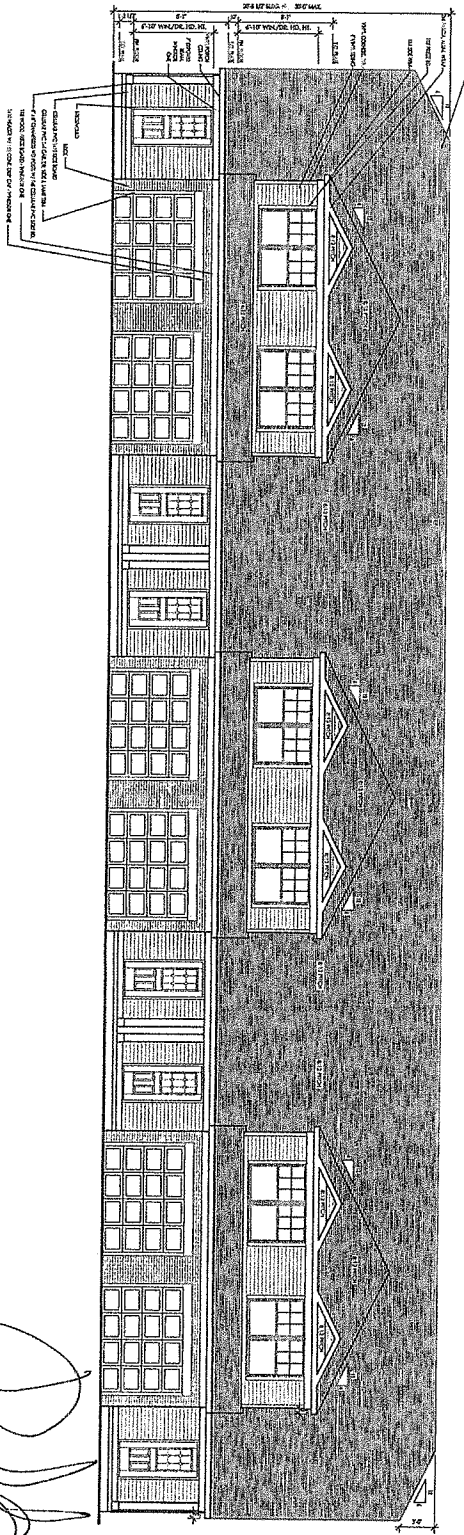
**SYMBOLS AND ABBREVIATIONS**

UNO.	UNLESS NOTED OTHERWISE	SMOKE DETECTOR
O.C.	ON CENTER	
T.O.W.	TOP OF WALL	
T.O.C.	TOP OF CONCRETE	
C.L.	CENTER LINE	
PL	PLATE	
T&G	TONGUE AND GROOVE	
L.V.L.	LAMINATED VENEER LUMBER	
U.S.	UNFINISHED STRAND LUMBER	
O.S.B.	ORIENTED STRAND BOARD	
M/M/E	MARRANO/MARC EQUITY CORPORATION	

**SMOKE DETECTOR**

SMOKE DETECTOR
SMOKE DETECTOR

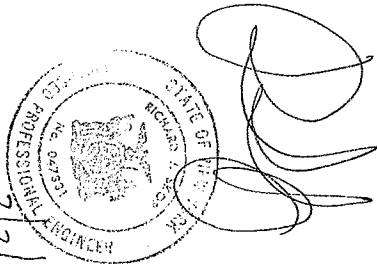
MODEL: -  
 HAND OF HOUSE: -  
 CONTRACT DATE: -  
 JOB CODE: -  
 SALES: -  
 DRAFTING: -  
 ESTIMATING: -  
 COORDINATION: -  
 PRODUCTION: -  
 1ST FLOOR GROSS: 5,612 S.F.  
 2ND FLOOR GROSS: 5,612 S.F.  
 CEMENTARY SPACE: 5,612 S.F.  
 GARAGE: 5,612 S.F.  
 PORCHES: 5,612 S.F.  
 BATHS: 5,612 S.F.  
 GARAGE SLAB: 5,612 S.F.

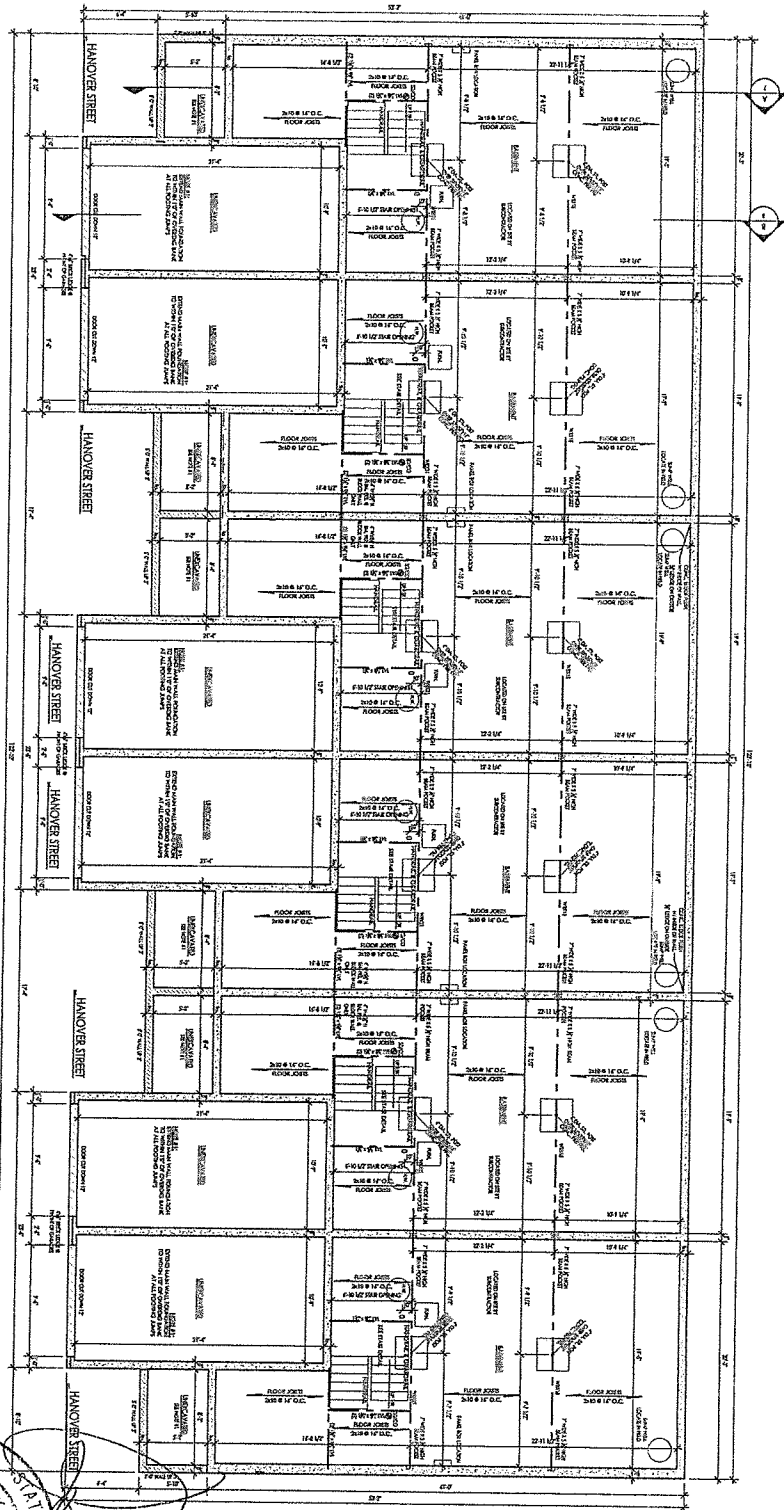


FRONT ELEVATION  
THE CAMBRIDGE

SCALE: 1/32"=1'-0"

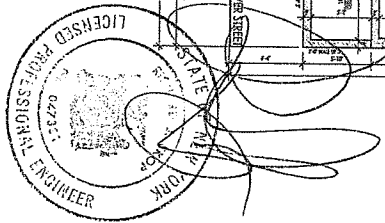
3  
3  
11

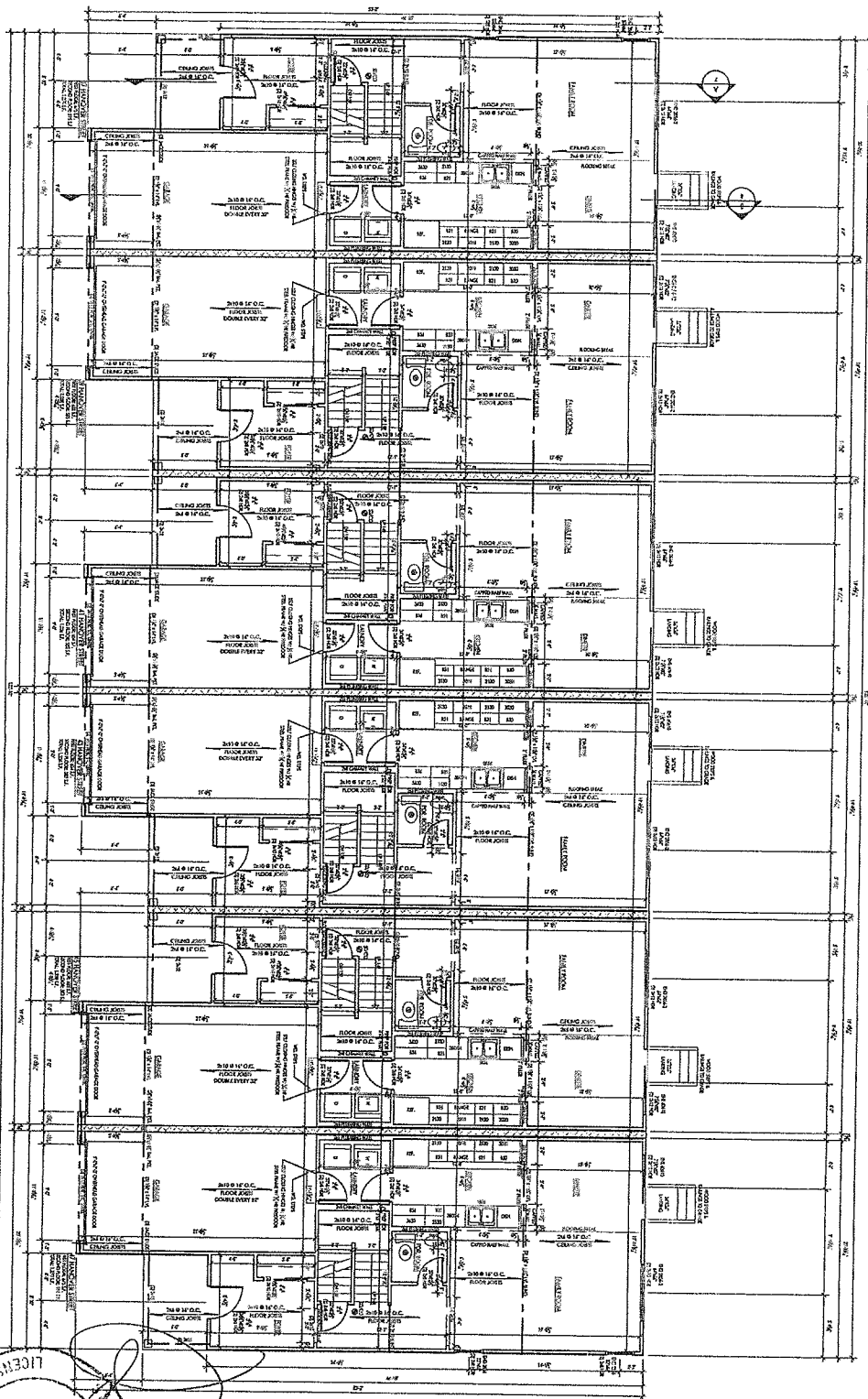




**FOUNDATION PLAN**  
THE CAMBRIDGE

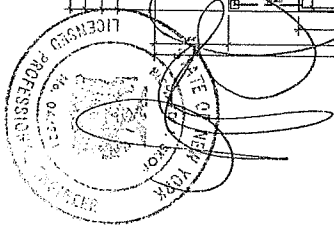
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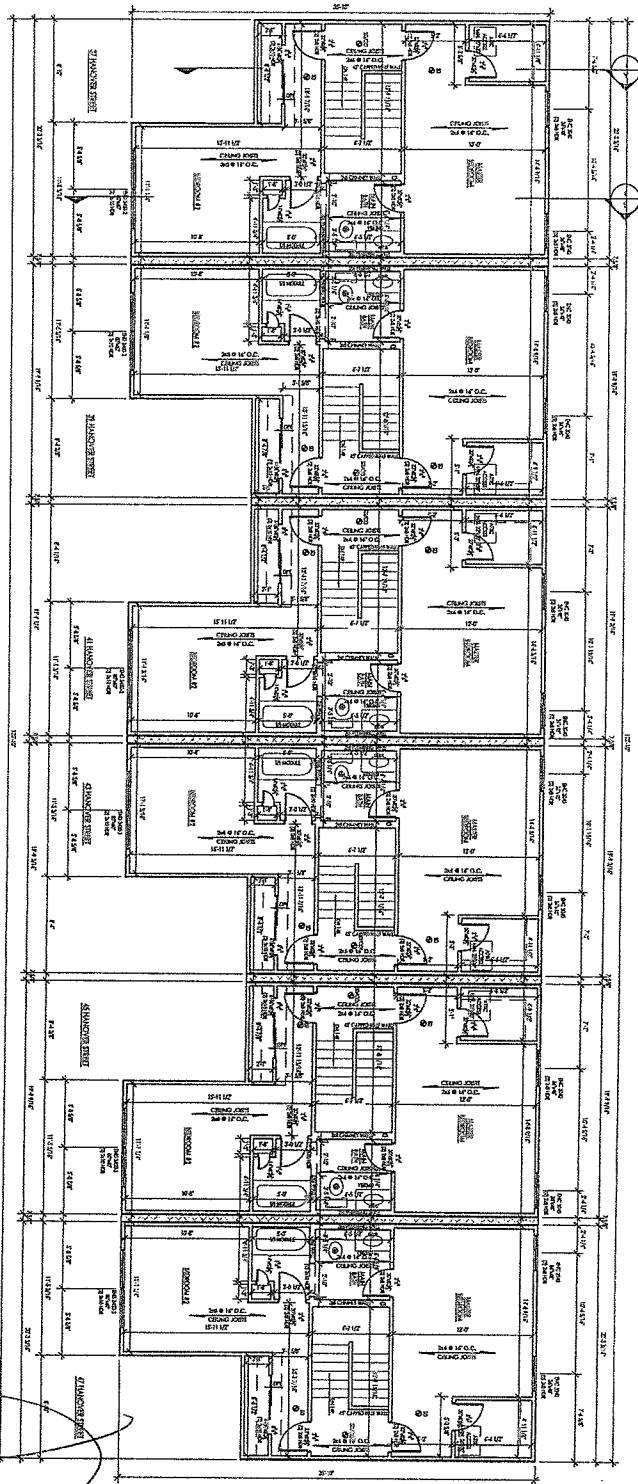




FIRST FLOOR PLAN  
THE CAMBRIDGE

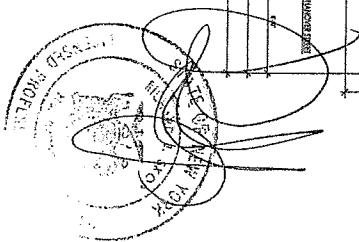
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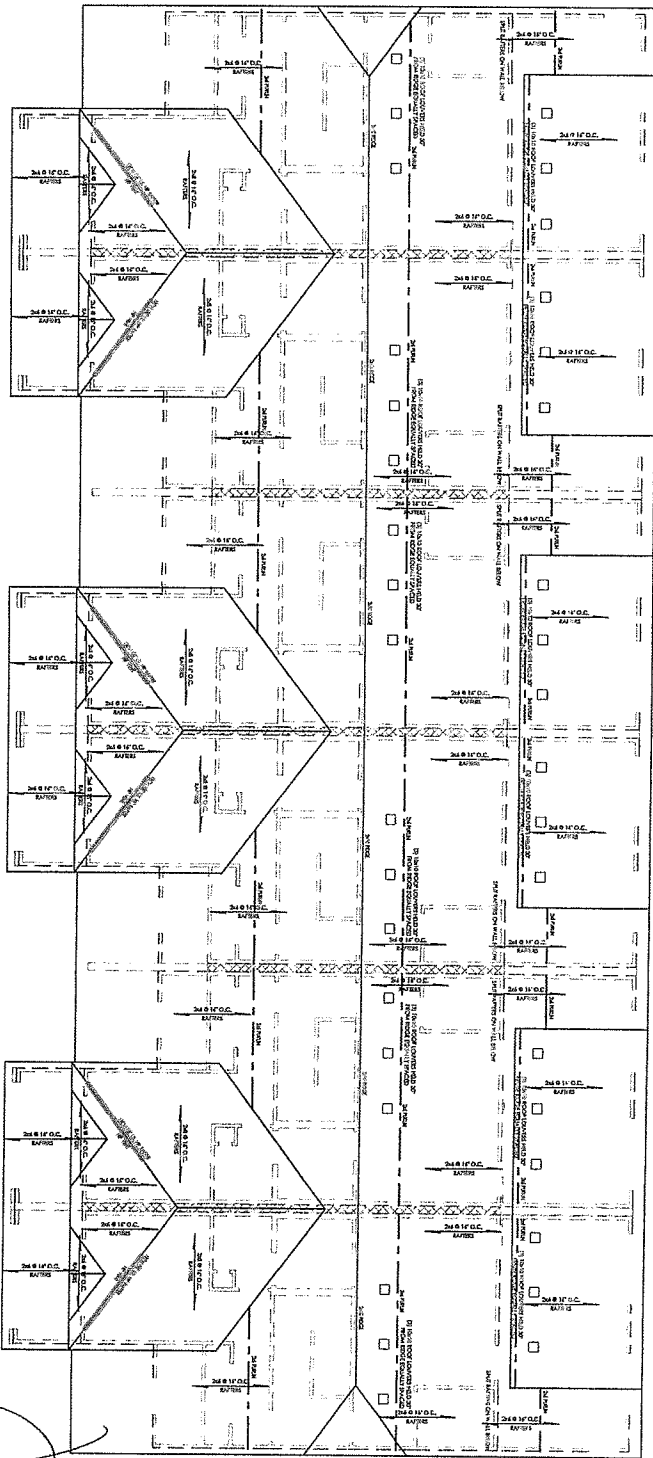




SECOND FLOOR PLAN  
THE CAMBRIDGE

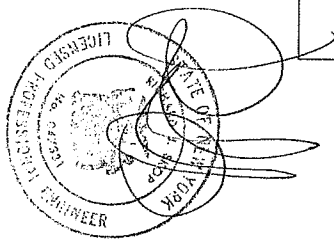
SCALE: 3/32"=1'-0"





ROOF PLAN  
THE CAMBRIDGE

SCALE: 3/32"=1'-0"

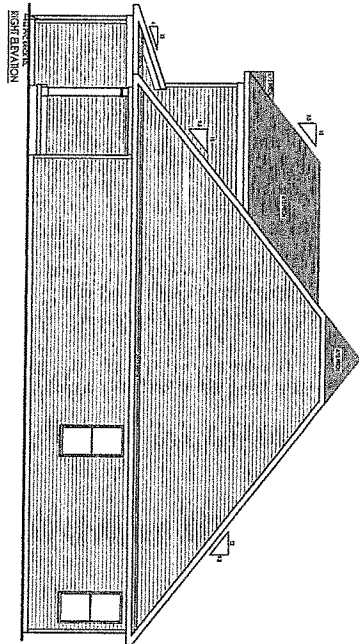
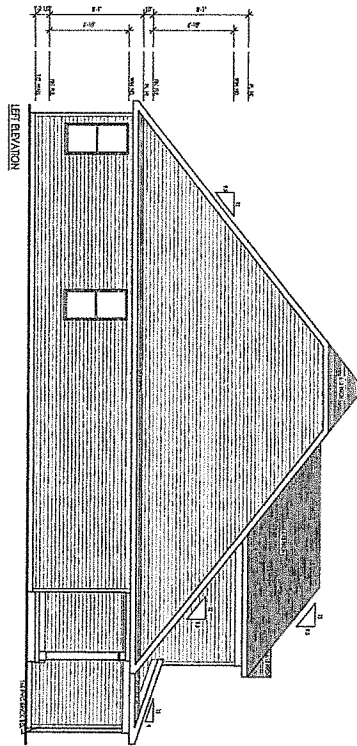
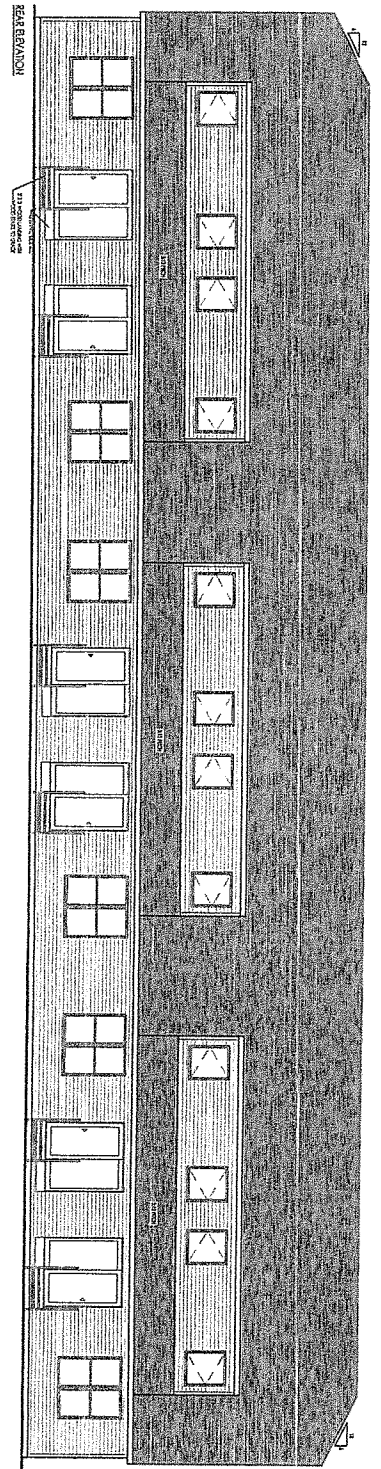


5 SHEET



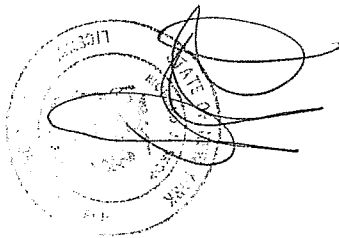
THE CAMBRIDGE 6  
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM



ELEVATIONS  
THE CAMBRIDGE

SCALE: 3/32"=1'-0"

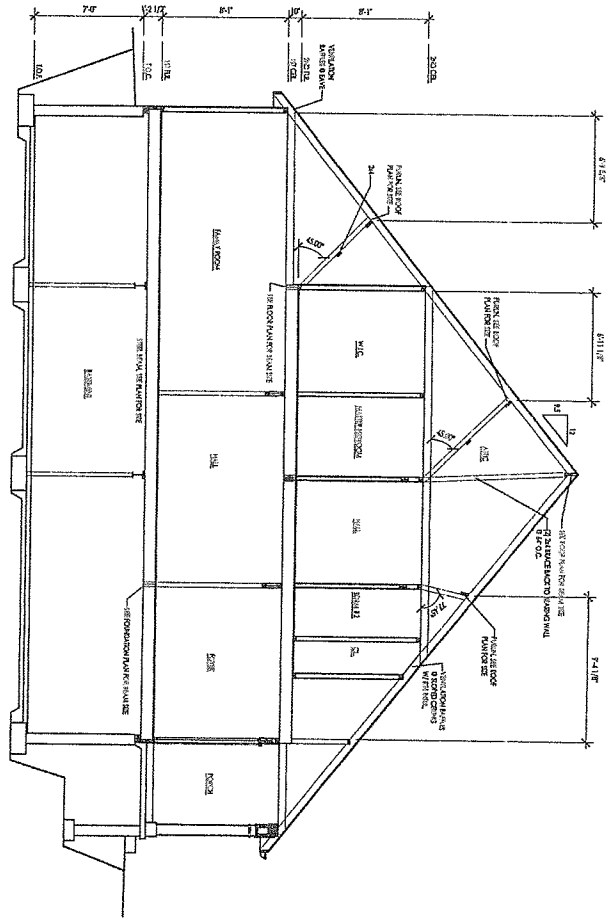


6 SHEET

**MARRANO**

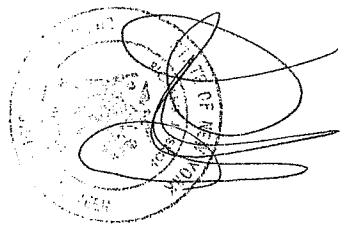
THE CAMBRIDGE 6  
CENTRAL SQUARE VILLAS TOWNHOMES

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WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM



BUILDING SECTION A  
THE CAMBRIDGE

SCALE: 1/8"=1'-0"



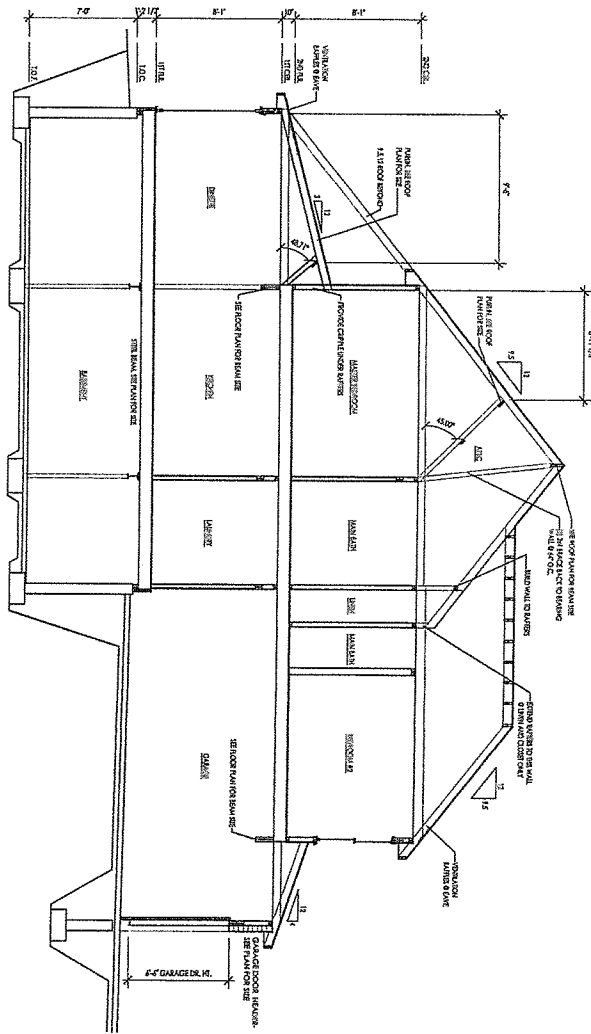
SHEET  
7

**MARRANO**

THE CAMBRIDGE 6  
CENTRAL SQUARE VILLA TOWNHOMES

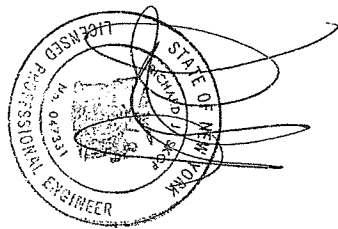
MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM





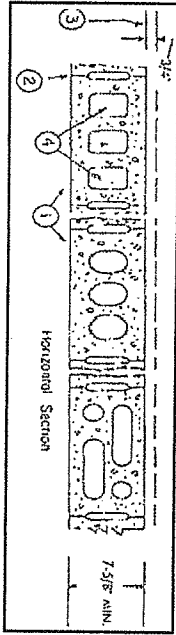
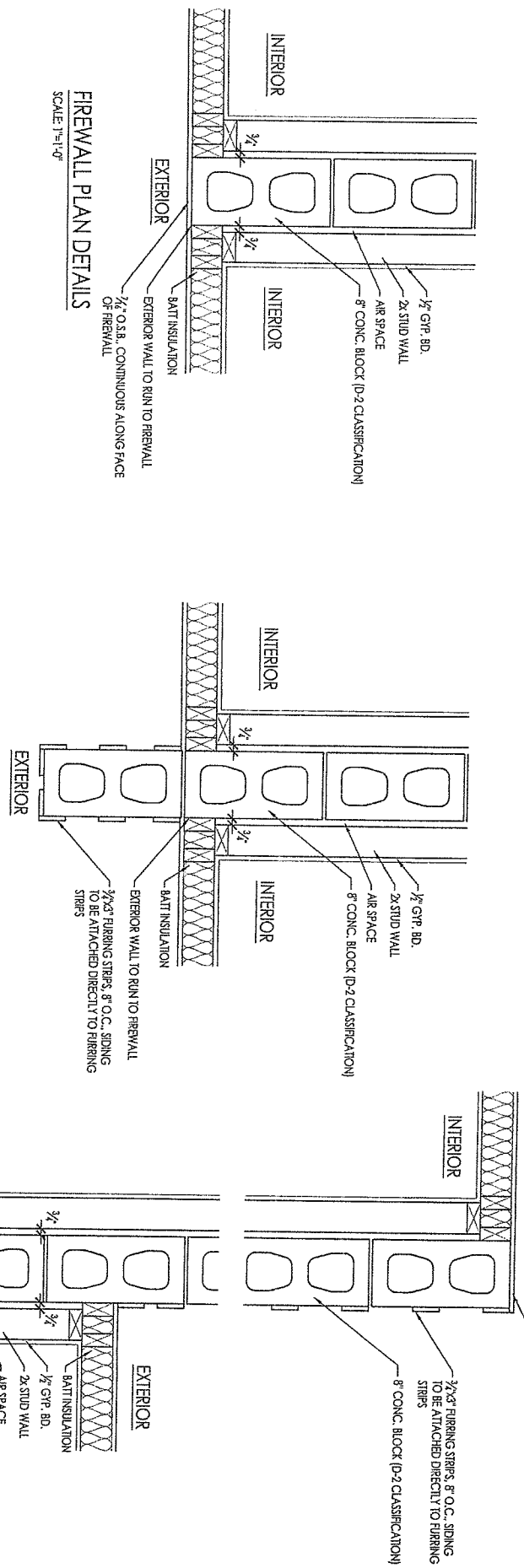
BUILDING SECTION B  
THE CAMBRIDGE

SCALE: 1/8"=1'-0"

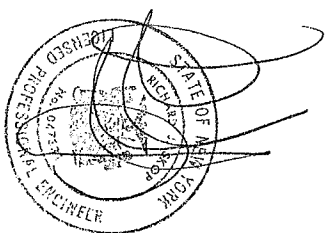


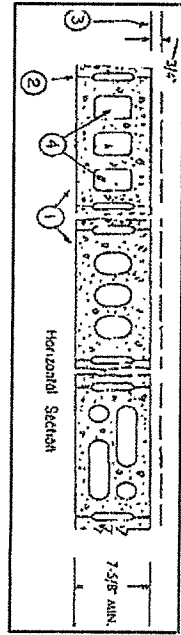
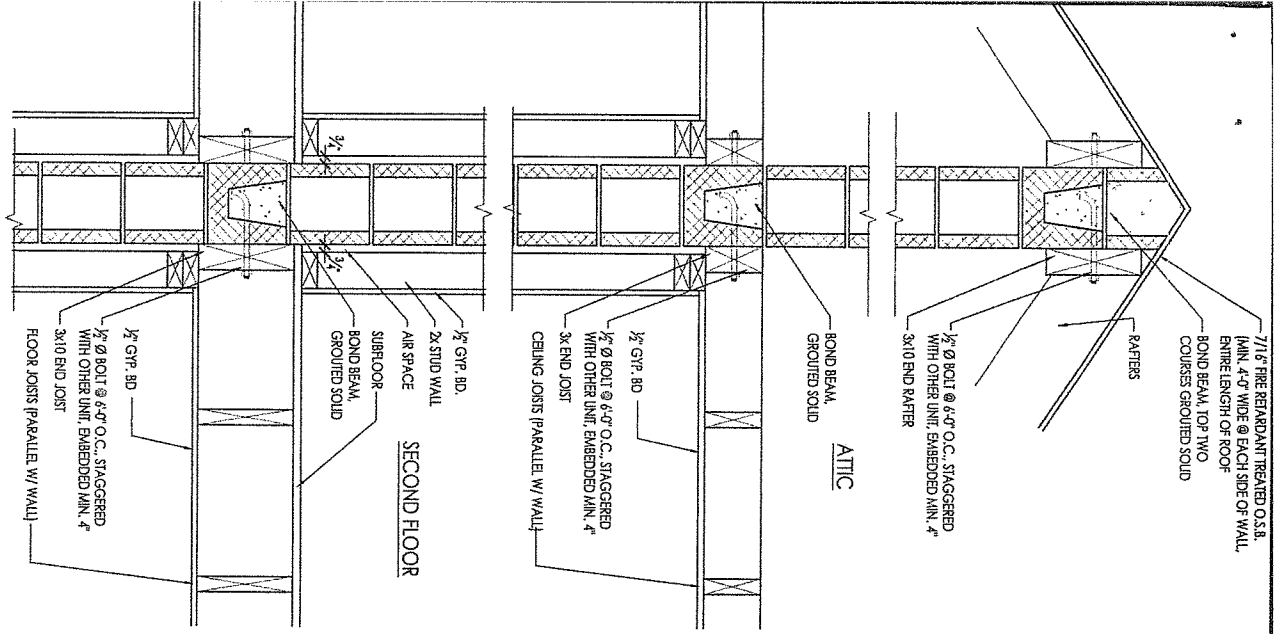
**FIREWALL PLAN DETAILS**

SCALE: 1/4"=1'-0"

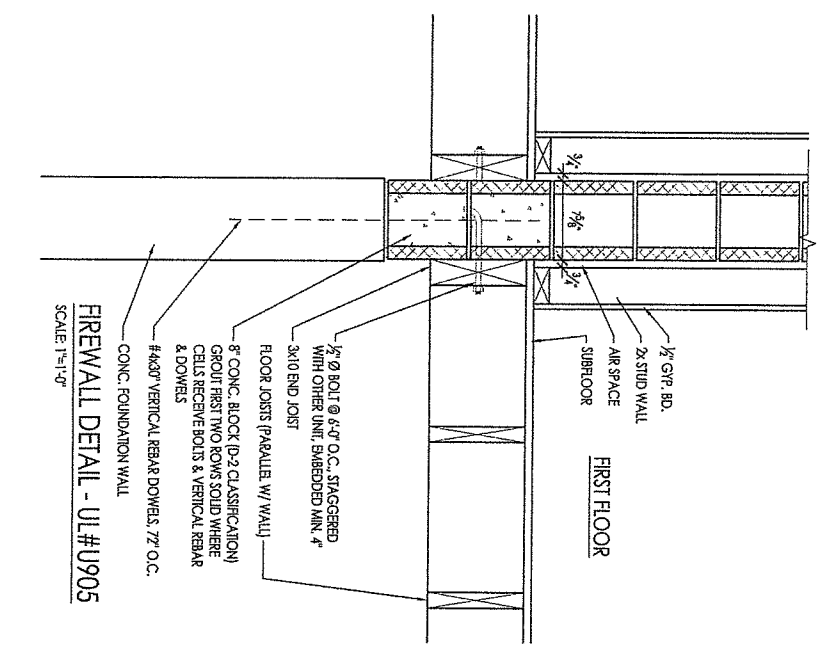


1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2-1/4 and not more than 5-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a min. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (going into process), water resistant vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
5. Framed Plaster\* - (Optional - not shown) 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).  
 Colotek Corp. - Type Trimax  
 \*Reaching the UL Classification Marking





1. Concrete Blocks\* - Various designs, Classification D-2 (2 lb).
  2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, of not less than 2 1/4" and not more than 3-1/2" parts of clean sharp sand to 1 part Portland Cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
  3. Portland Cement Shims or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on both opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
  4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded clay, expanded clay or stable fill (poly film process), water repellent vermiculite masonry fill insulation, or silicon treated perlite loose fill insulation add 2 hr to Classification.
  5. Foamed Plastic\* - (Optional - not shown) 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).
- \*Bearing the UL Classification Marking  
 Celvex Corp. - Type Thermax

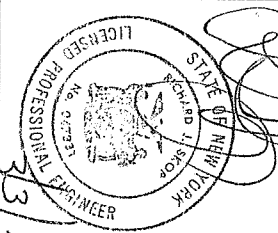


FIREWALL DETAIL - UL#U905  
 SCALE: 1/4"=1'-0"



LICENSED ENGINEER  
 RICHARD J. STOK  
 3160 RT. 394  
 P.O. BOX 151  
 BURLINGTON 14885  
 PHONE (716) 725-5990 FAX (716) 763-6854

PROFESSIONAL SEAL



THE CAMBRIDGE 8  
 SUBLOT #  
 CENTRAL SQUARE VILLAS  
 LANCASTER

- GENERAL NOTES**
1. PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY CORPORATION (MARRANO). UNAUTHORIZED USE OR REPRODUCTION OF PLANS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT IS PROHIBITED.
  2. MARRANO RESERVES THE RIGHT TO MODIFY PLANS AND SPECIFICATIONS TO CONFORM TO STATE AND FEDERAL REQUIREMENTS AND TO MAKE CHANGES TO THE PLANS AND SPECIFICATIONS WITHOUT NOTICE TO THE CONTRACTOR.
  3. ALL DIMENSIONS AND SPECIFICATIONS MUST BE IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  4. DO NOT SCALE DIMENSIONS OFF OF THE PLANS. VERIFY THE DIMENSIONS GIVEN. ERRORS MADE FROM ASSUMED DIMENSIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  5. THE PLANS SET OR EXCEED THE CURRENT NEW YORK STATE ENERGY CODE AND RESIDENTIAL BUILDING CODE.
  6. SECOND FLOOR FLOOR FINISH SHALL BE AS FOLLOWS:  
 6.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 6.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 6.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 6.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  7. CONTRACTOR TO FOLLOW ALL APPLICABLE CODES OF THEIR JURISDICTION AND THE NEW YORK STATE ENERGY CODE AND RESIDENTIAL BUILDING CODE.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
  9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND SPECIFICATIONS.
  10. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS AND SPECIFICATIONS.

- FOUNDATION NOTES**
- 1.1. ALL FOUNDATION WALLS SHALL BE CONCRETE ON GRAVEL OR SAND.
  - 1.2. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" O.C. UNLESS OTHERWISE NOTED.
  - 1.3. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.
  - 1.4. ALL FOUNDATION WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.
- FLOOR NOTES**
1. FLOOR FINISH SHALL BE AS FOLLOWS:  
 1.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  2. FLOOR FINISH SHALL BE AS FOLLOWS:  
 2.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 2.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 2.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 2.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  3. FLOOR FINISH SHALL BE AS FOLLOWS:  
 3.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 3.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 3.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 3.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  4. FLOOR FINISH SHALL BE AS FOLLOWS:  
 4.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 4.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 4.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 4.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE

- INSULATION NOTES**
- 1.1. BRIDGE JOISTS SHALL BE INSULATED TO A MINIMUM R-19.
  - 1.2. BRIDGE JOISTS SHALL BE INSULATED TO A MINIMUM R-19.
  - 1.3. BRIDGE JOISTS SHALL BE INSULATED TO A MINIMUM R-19.
  - 1.4. BRIDGE JOISTS SHALL BE INSULATED TO A MINIMUM R-19.
- WALL NOTES**
- 1.1. ALL WALLS SHALL BE CONCRETE ON GRAVEL OR SAND.
  - 1.2. ALL WALLS SHALL BE MINIMUM 12" O.C. UNLESS OTHERWISE NOTED.
  - 1.3. ALL WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.
  - 1.4. ALL WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.

- ROOF NOTES**
- 1.1. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.1.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.2. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.2.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.3. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.3.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.4. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.4.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE

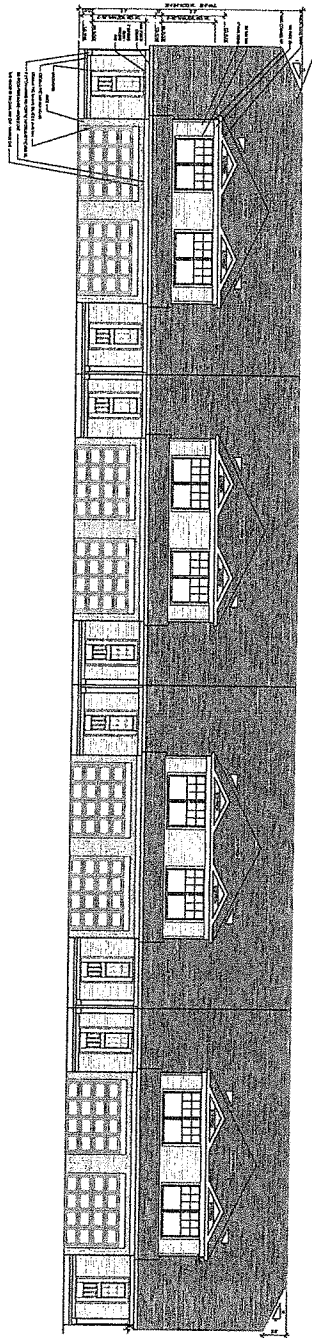
- WALL NOTES**
- 1.1. ALL WALLS SHALL BE CONCRETE ON GRAVEL OR SAND.
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 1.1.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.2. ROOF FINISH SHALL BE AS FOLLOWS:  
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 1.2.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.3. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.3.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.4. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.4.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE

- WALL NOTES**
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  - 1.2. ALL WALLS SHALL BE MINIMUM 12" O.C. UNLESS OTHERWISE NOTED.
  - 1.3. ALL WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.
  - 1.4. ALL WALLS SHALL BE FINISHED WITH A MINIMUM 1/2" O.C. CONCRETE.
- ROOF NOTES**
- 1.1. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.1.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.1.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.2. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.2.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.2.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.3. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.3.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.3.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE
  - 1.4. ROOF FINISH SHALL BE AS FOLLOWS:  
 1.4.1. GROUND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.2. SECOND FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.3. THIRD FLOOR FINISH: 3/4" O.C. CONCRETE  
 1.4.4. FIRST FLOOR FINISH: 3/4" O.C. CONCRETE

FLOOR SYSTEM	TYPICAL REER COUNT AND HEIGHT				TYPICAL CEILING HEIGHTS			
	7'-0" BASEMENT	8'-0" BASEMENT	9'-0" BASEMENT	10'-0" BASEMENT	8'-1" 1ST/2ND FLOORS	9'-1" 1ST/2ND FLOORS	10'-1" 1ST/2ND FLOORS	11'-0" 1ST/2ND FLOORS
3/4" T&G OSB DECKING OVER 2x10	13 @ 7.50" EACH (1027)	13 @ 8.00" EACH (1040)	15 @ 7.75" EACH (1157)	14 @ 7.44" EACH (1037)	15 @ 7.93" EACH (1197)	17 @ 7.77" EACH (1317)	17 @ 7.82" EACH (1337)	17 @ 7.82" EACH (1337)
3/4" T&G OSB DECKING OVER 2x12	13 @ 7.65" EACH (1027)	14 @ 7.97" EACH (1097)	15 @ 7.87" EACH (1187)	14 @ 7.77" EACH (1087)	15 @ 8.07" EACH (1197)	17 @ 7.82" EACH (1317)	17 @ 7.82" EACH (1337)	17 @ 7.82" EACH (1337)
3/4" T&G OSB DECKING OVER 1 1/2" T&I	13 @ 7.70" EACH (1027)	14 @ 7.42" EACH (1037)	15 @ 7.91" EACH (1187)	14 @ 7.83" EACH (1087)	15 @ 7.87" EACH (1187)	17 @ 7.82" EACH (1317)	17 @ 7.82" EACH (1337)	17 @ 7.82" EACH (1337)
3/4" T&G OSB DECKING OVER 1 1/2" T&I	13 @ 7.83" EACH (1027)	14 @ 7.77" EACH (1037)	15 @ 8.05" EACH (1197)	14 @ 7.78" EACH (1117)	15 @ 8.77" EACH (1237)	17 @ 7.82" EACH (1317)	17 @ 7.82" EACH (1337)	17 @ 7.82" EACH (1337)

**SYMBOLS AND ABBREVIATIONS**

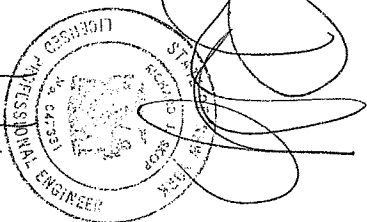
UNO.	UNLESS NOTED OTHERWISE	(S)	SMOKE DETECTOR
O.C.	ON CENTER	(C)	SMOKE/CO ALARM
TO.	TOP OF	(M)	MOTION DETECTOR
TO.W.	TOP OF WALL		
T.O.C.	TOP OF CONCRETE		
CL.	CENTER LINE		
PL.	PLATE		
T&G.	TONGUE AND GROOVE		
LV.	LAMINATED VENEER LUMBER		
UL.	LAMINATED STRAND LUMBER		
OSB.	ORIENTED STRAND BOARD		
MAME	MARRANO/MARC EQUITY CORPORATION		



FRONT ELEVATION  
THE CAMBRIDGE

SCALE 1/16"=1'-0"

3311

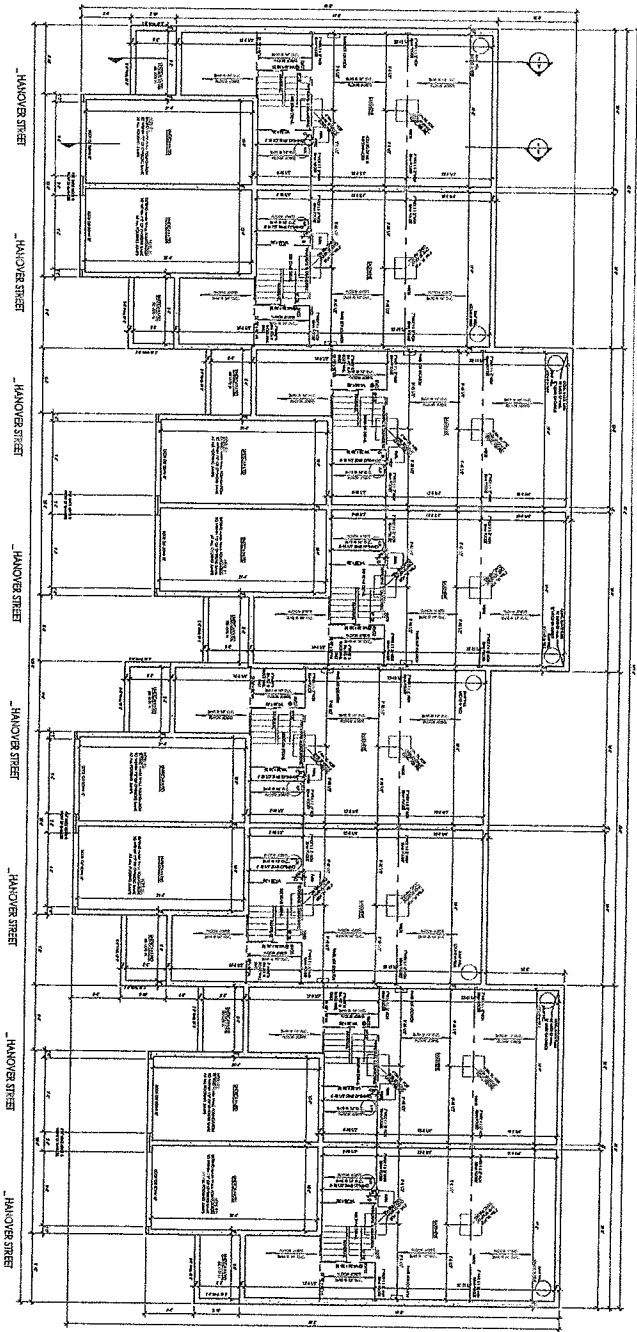


SHEET  
1

 MARRANO

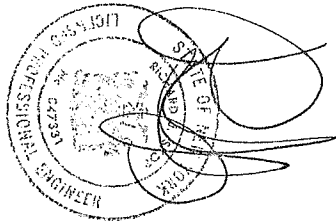
THE CAMBRIDGE 8  
CENTRAL SQUARE VILLA TOWNHOMES

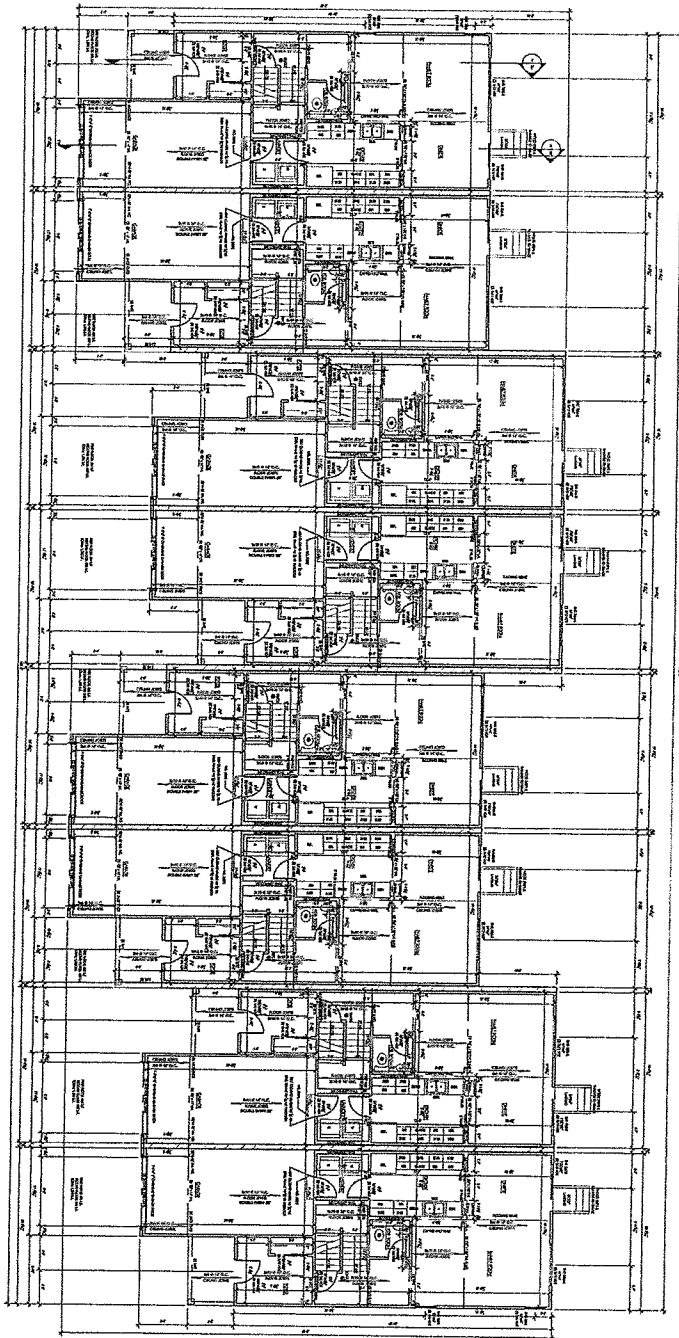
MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
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FOUNDATION PLAN  
THE CAMBRIDGE

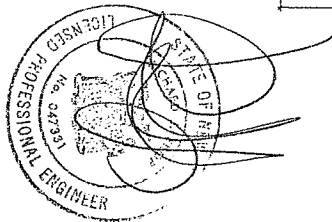
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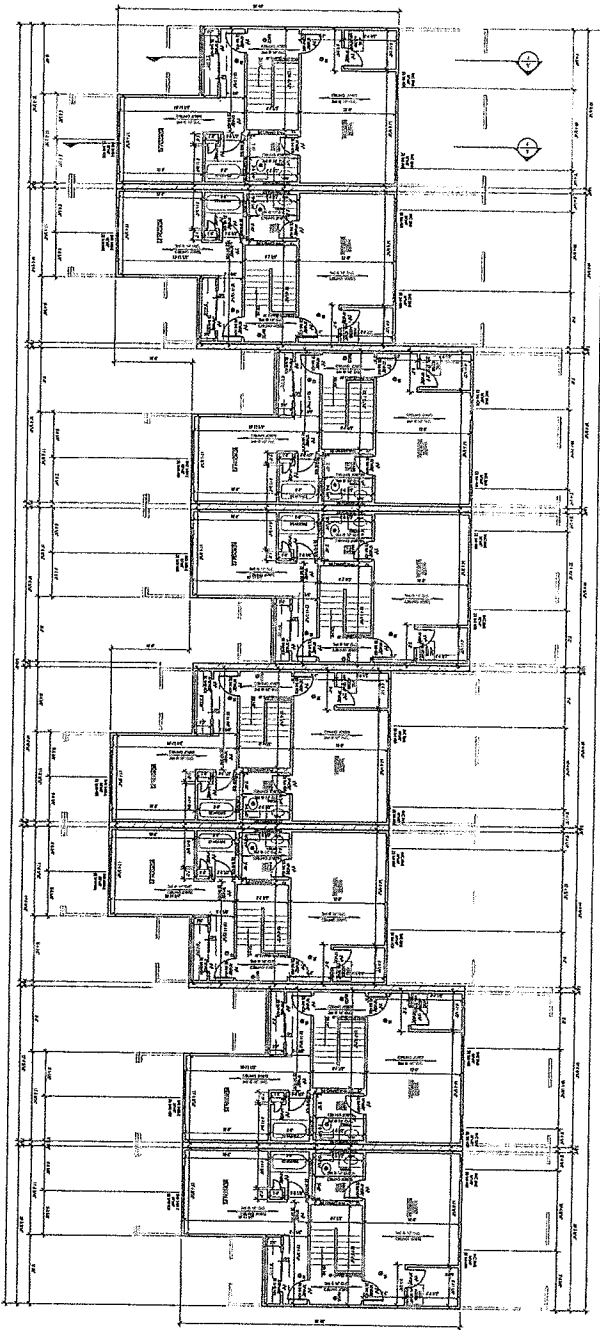




FIRST FLOOR PLAN  
THE CAMBRIDGE

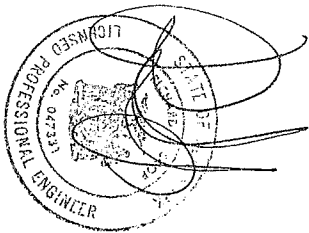
SCALE: 1/16"=1'-0"





SECOND FLOOR PLAN  
THE CAMBRIDGE

SCALE: 1/8"=1'-0"



4

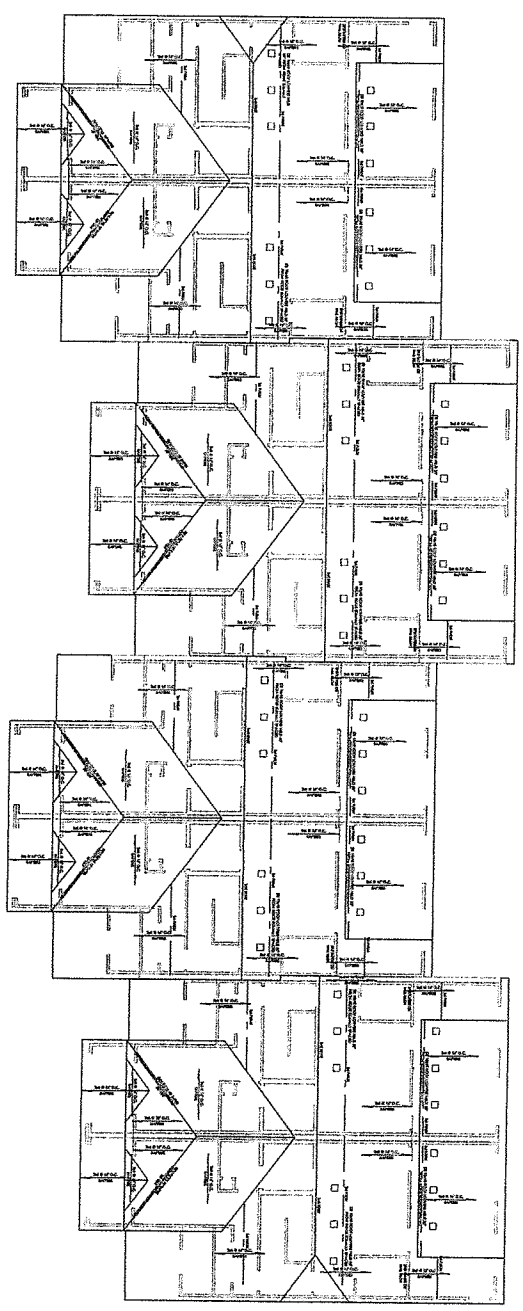
SHEET



THE CAMBRIDGE 8  
CENTRAL SQUARE VILLA TOWNHOMES

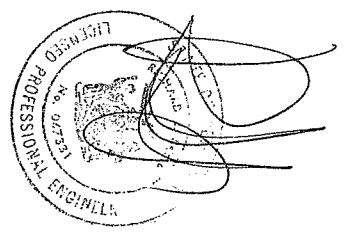
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ROOF PLAN  
THE CAMBRIDGE

SCALE: 1/16"=1'-0"

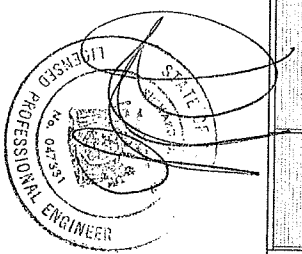
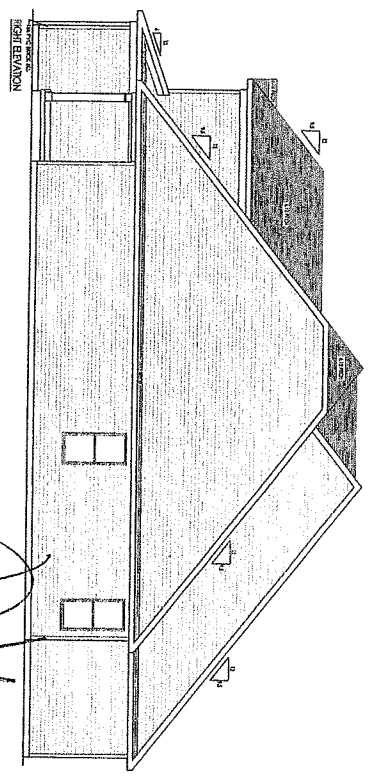
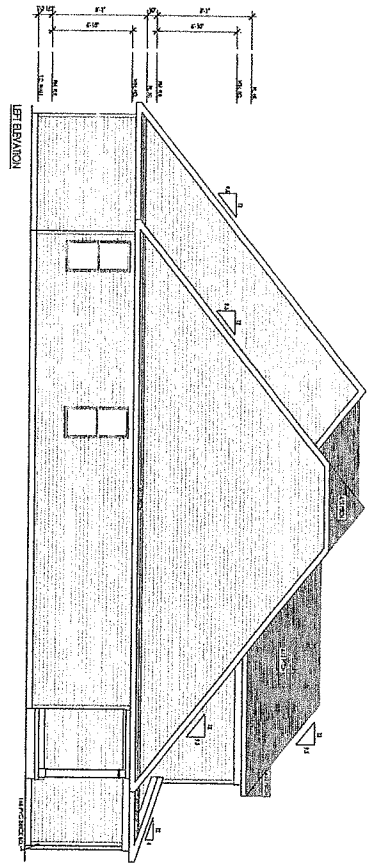
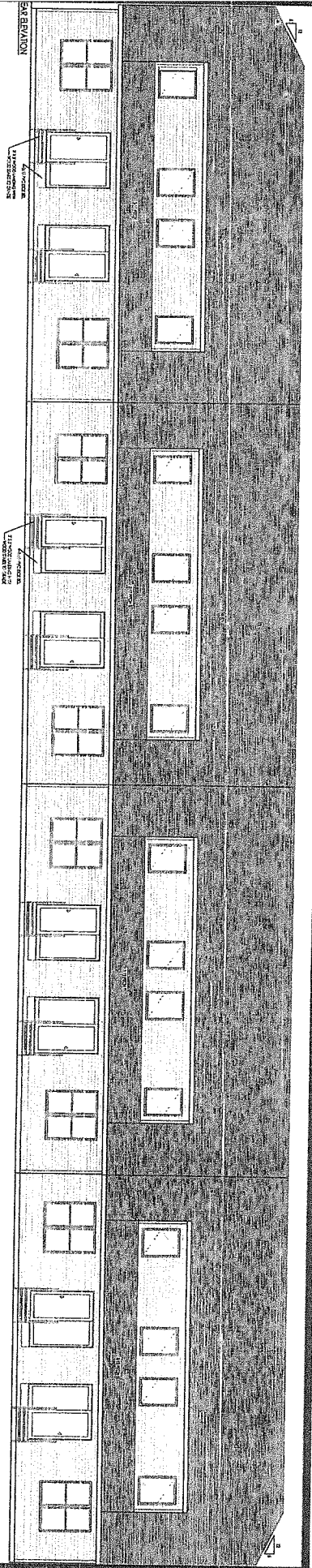


SHEET  
5



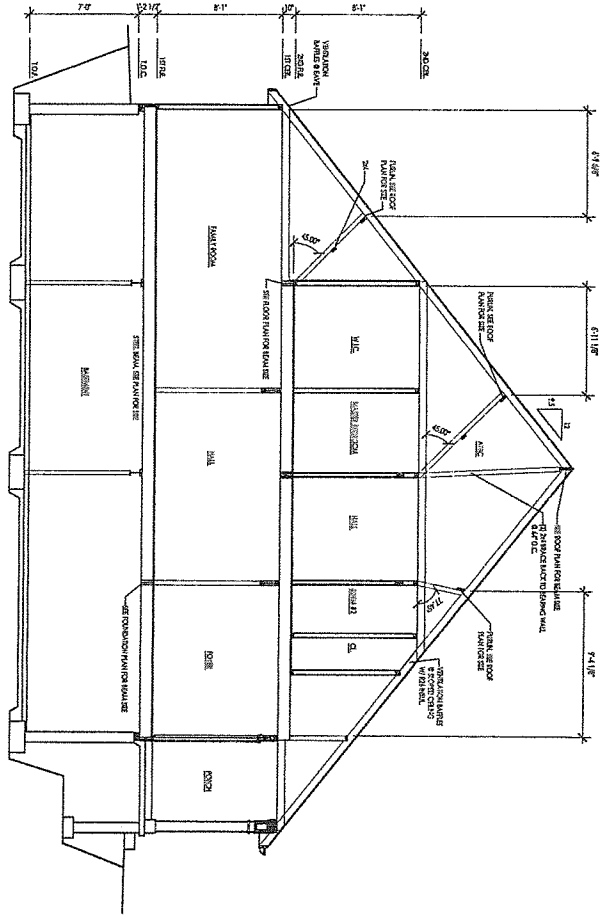
THE CAMBRIDGE 8  
CENTRAL SQUARE VILLA TOWNHOMES

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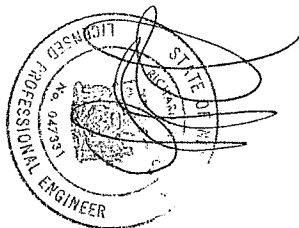
SIDE ELEVATIONS  
THE CAMBRIDGE

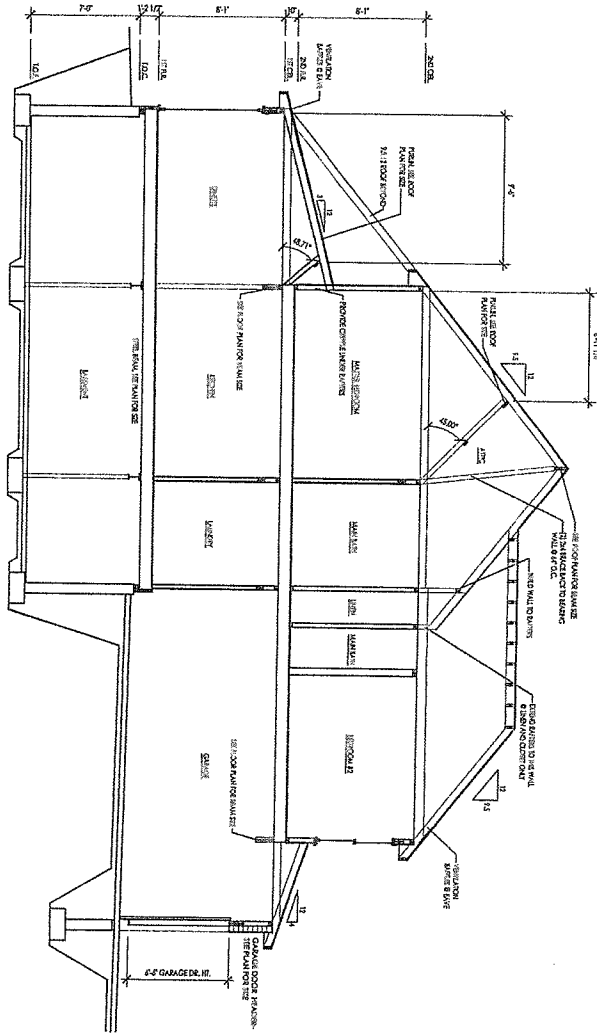
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**BUILDING SECTION A**  
THE CAMBRIDGE

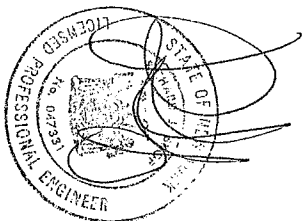
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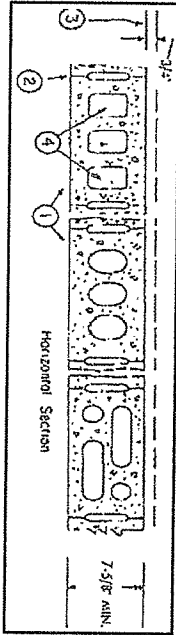
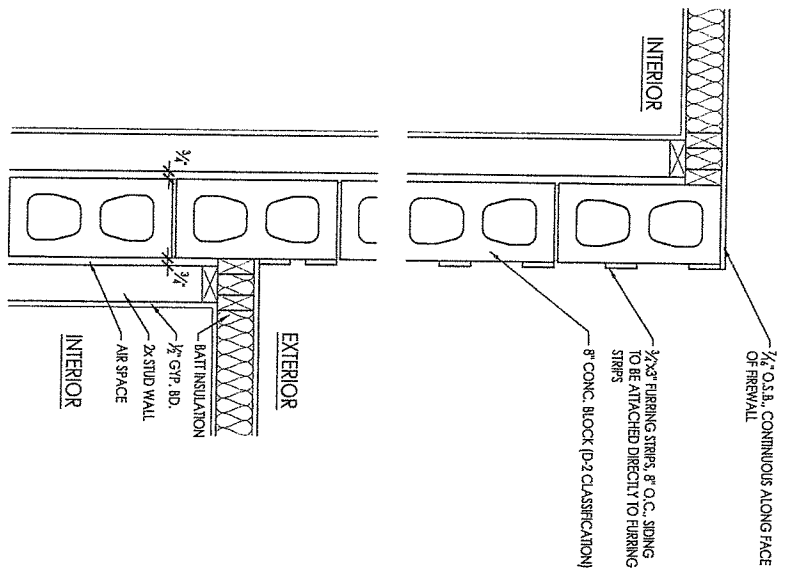
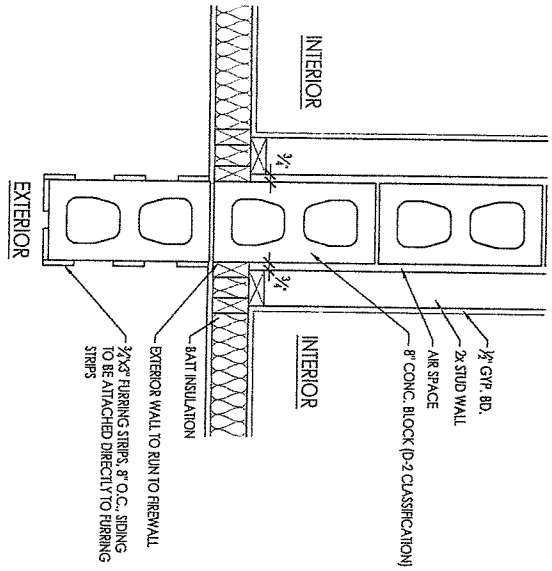
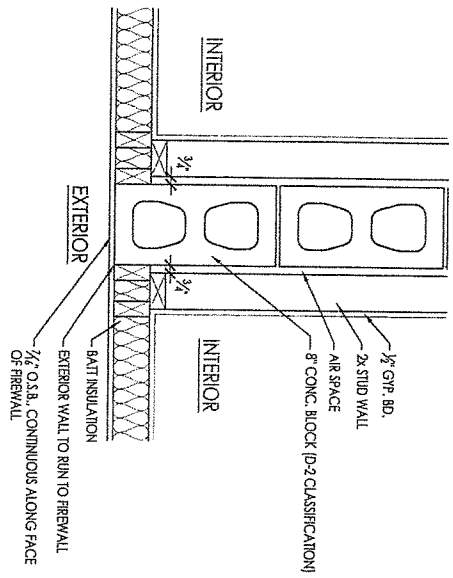
**BUILDING SECTION B**  
THE CAMBRIDGE

SCALE: 1/8" = 1'-0"



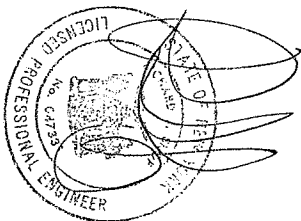
**FIREWALL PLAN DETAILS**

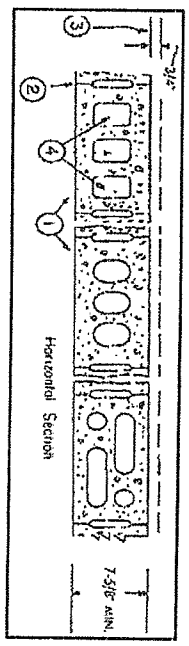
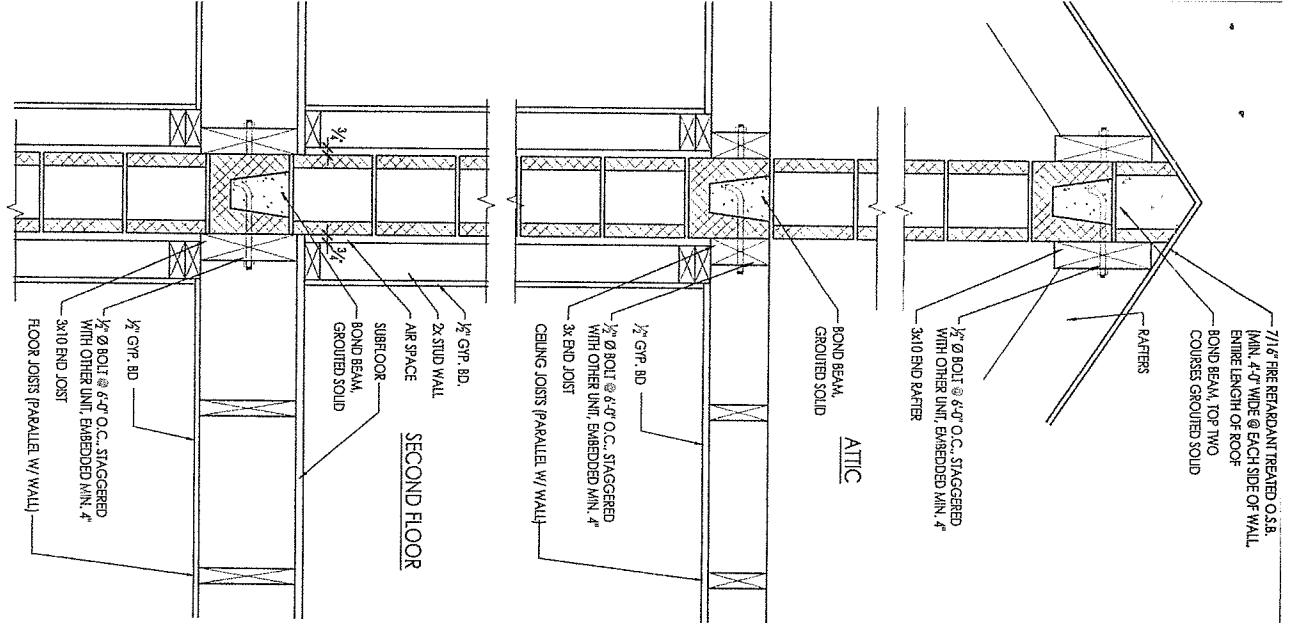
SCALE: 1"=1'-0"



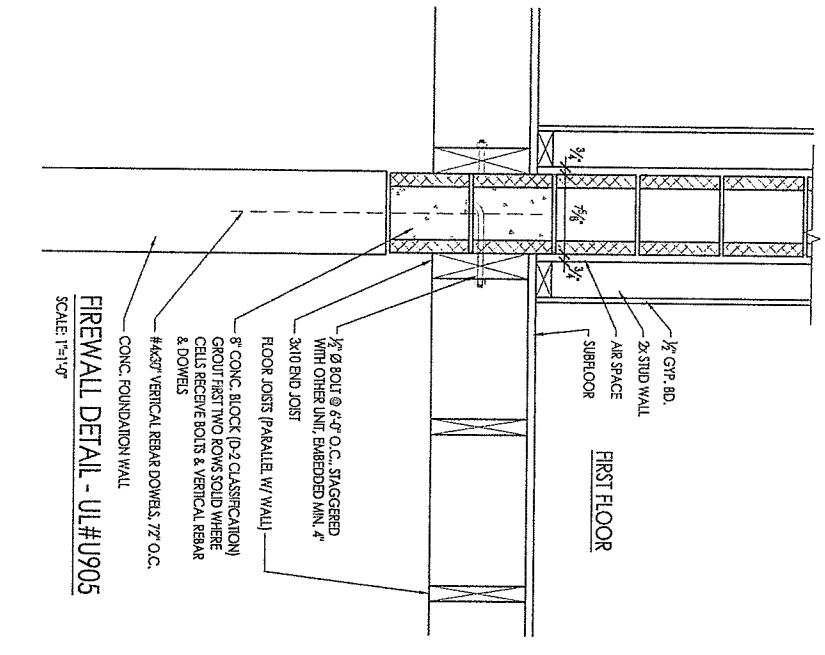
1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. When combustible members are framed in wall, plaster or stucco must be applied on both face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (ready mix process), water repellent vermiculite assembly fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
5. Framed Plaster\* (Optional - not shown) 1-1/2 in thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).  
Celtek Corp. - Type Thermax

\*Bearing the UL Classification Marking



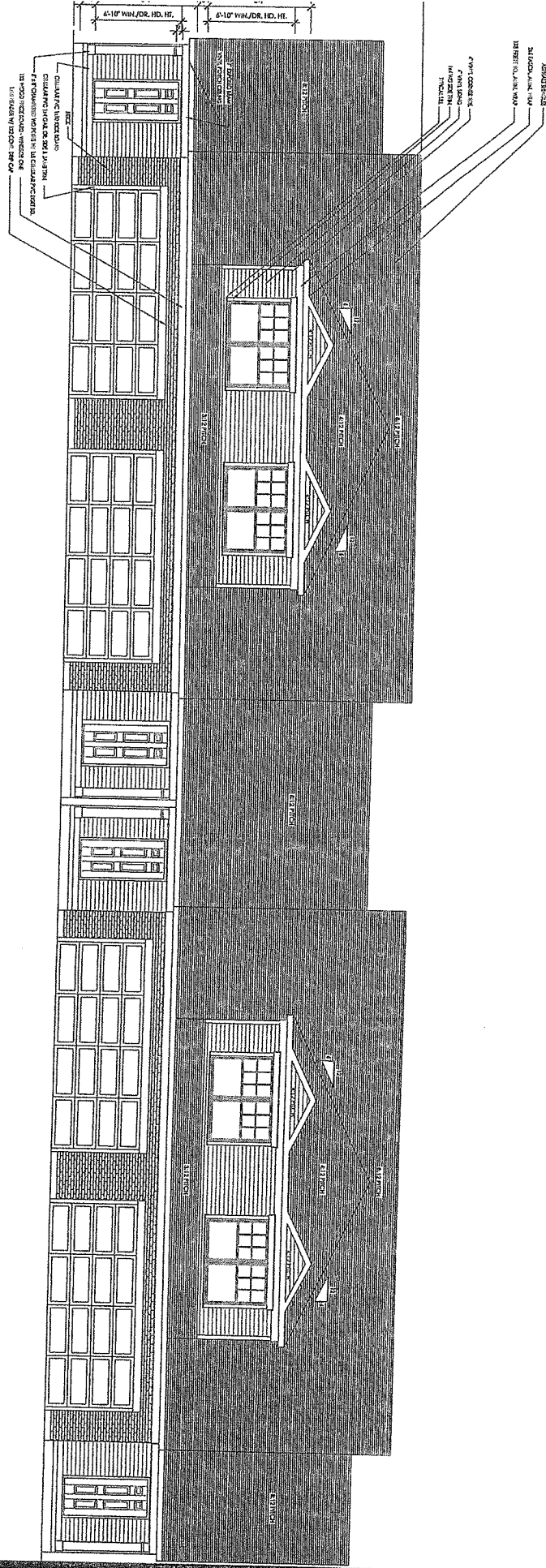


1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
  2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 30 percent hydrated lime (by cement volume). Vertical joints staggered.
  3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)
  4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (over 1/4 in. process), water resistant vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
  5. Reinforced Plastic\* - (Optional - not shown) 1-1/2 in. thick max., 4 ft wide sheathing attached to concrete blocks (Item 1).
- \*Rating due to UL Classification Marking



**FIREWALL DETAIL - UL#1905**  
SCALE: 1"=1'-0"





FRONT ELEVATION  
THE LIVINGSTON

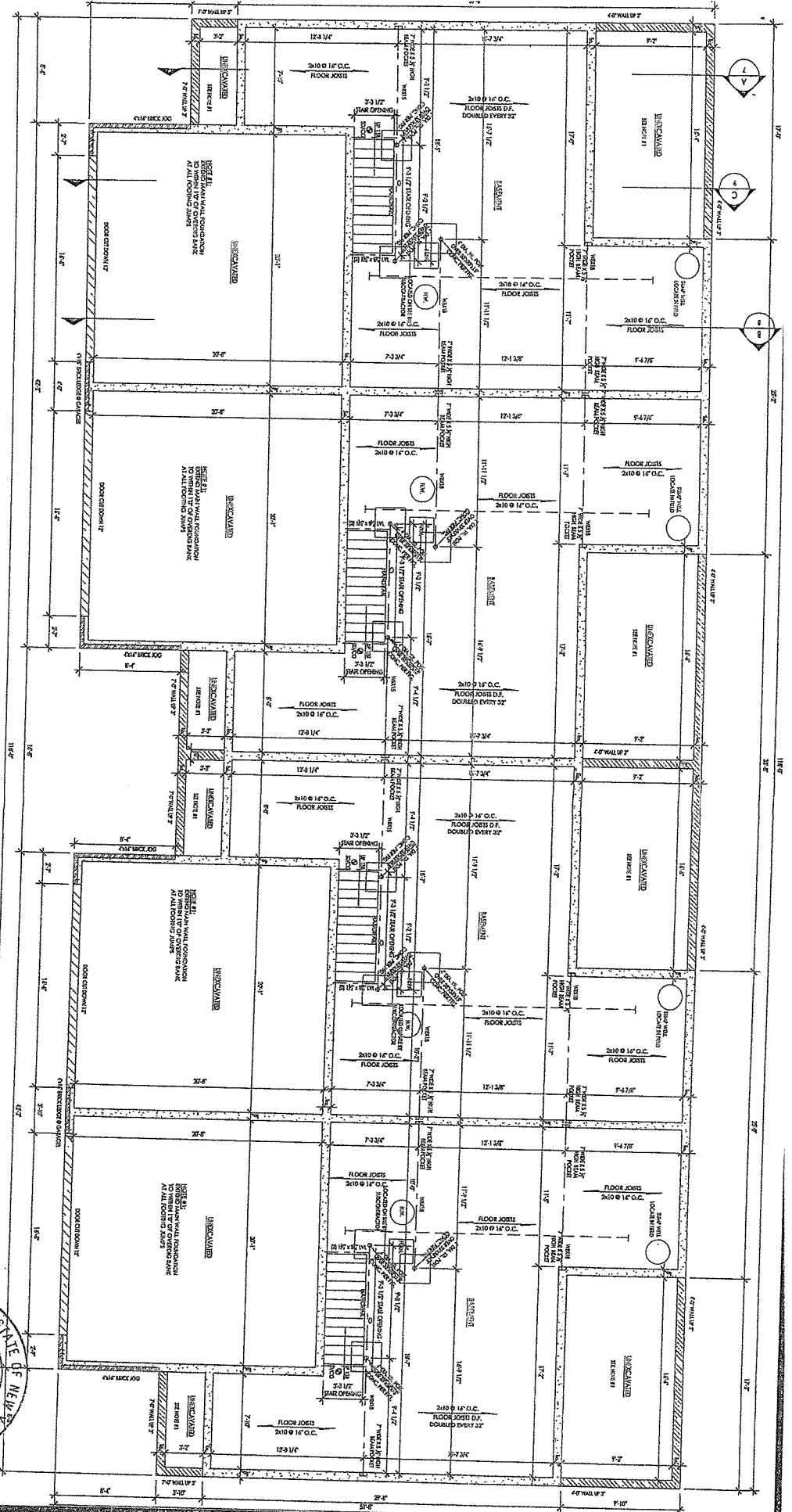
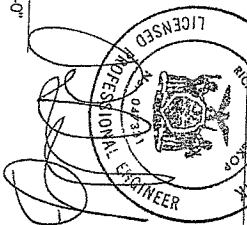
SCALE: 1/8"=1'-0"

*Richard J. Spos*  
4/29/09



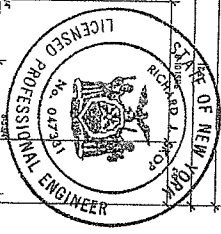
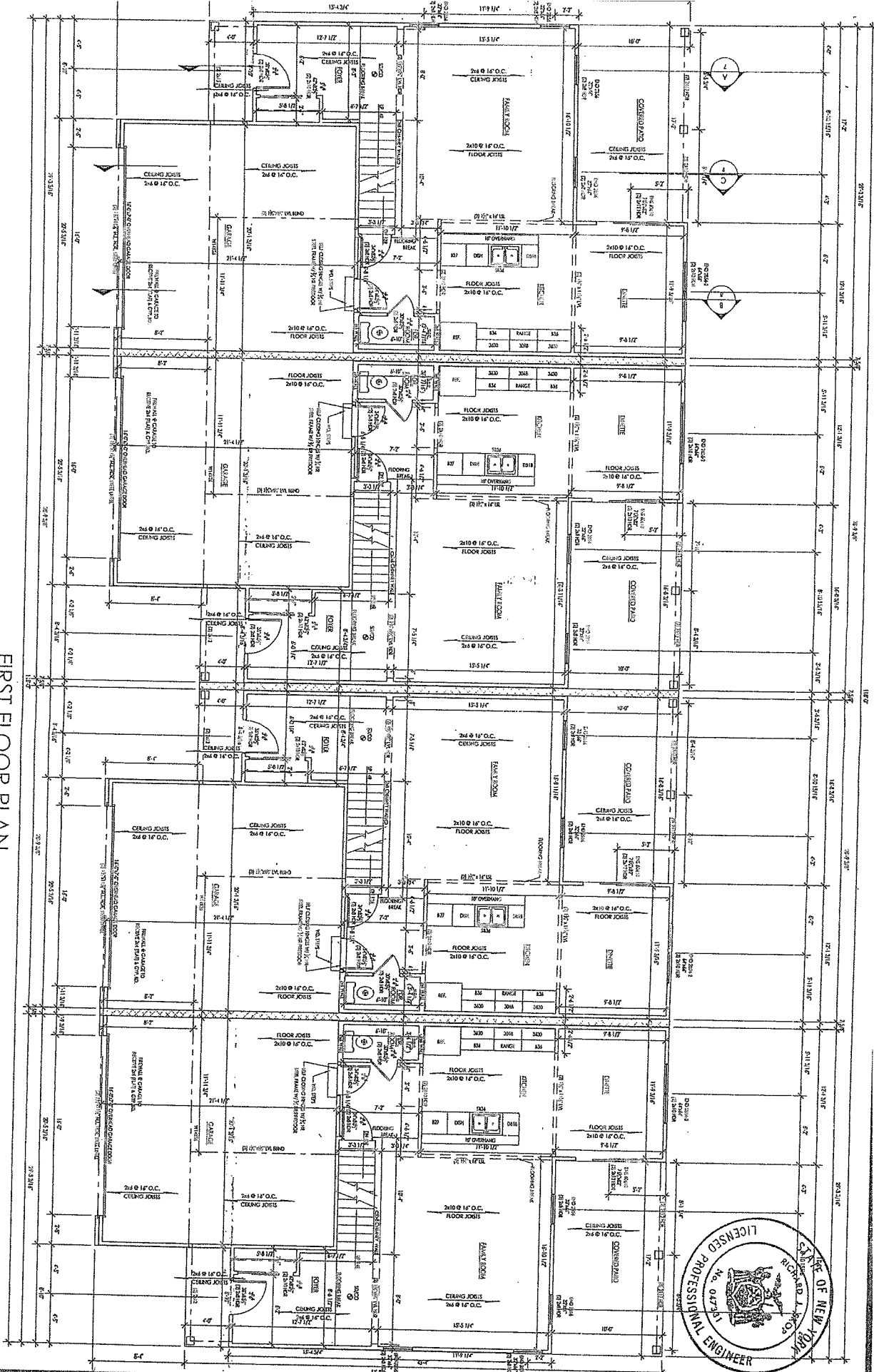
FOUNDATION PLAN  
THE LIVINGSTON

SCALE: 1/8"=1'-0"



FIRST FLOOR PLAN  
THE LIVINGSTON

SCALE: 1/8"=1'-0"

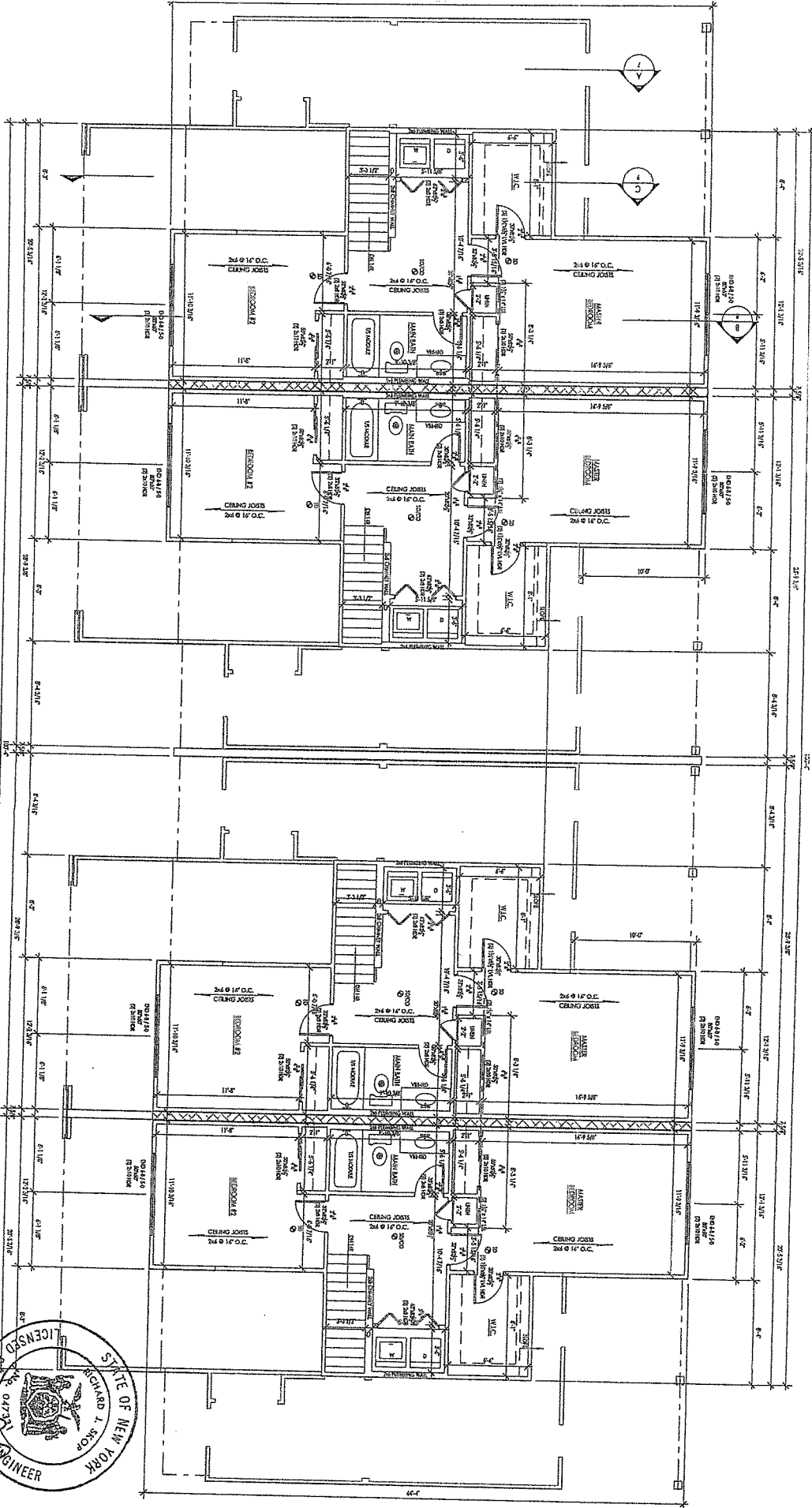


3 SHEET



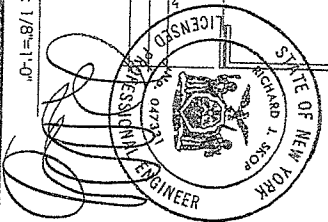
THE LIVINGSTON  
CENTRAL SQUARE VILLA TOWNHOMES

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SECOND FLOOR PLAN  
THE LIVINGSTON

SCALE: 1/8"=1'-0"

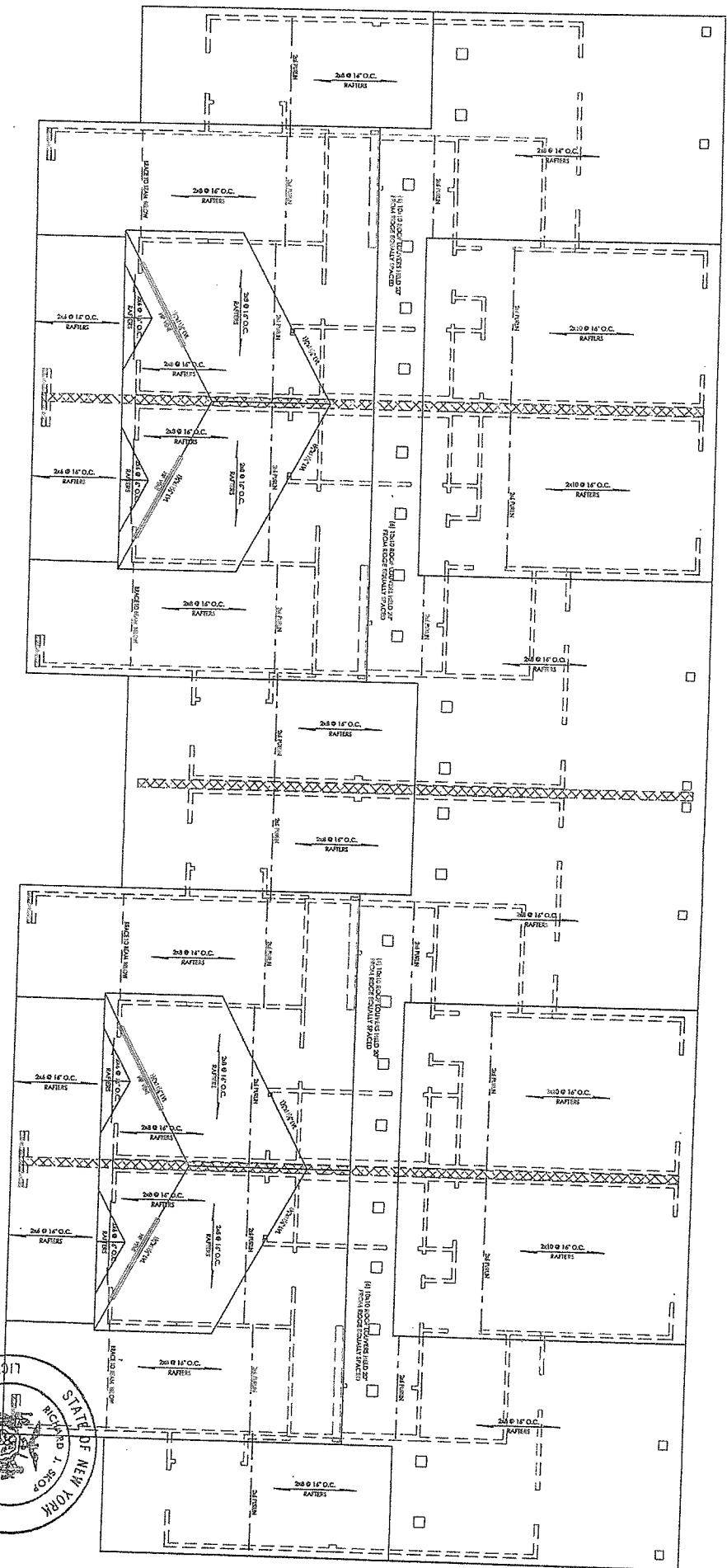


SHEET  
4



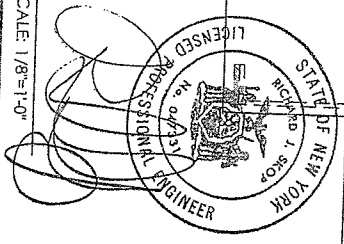
THE LIVINGSTON  
CENTRAL SQUARE VILLA TOWNHOMES

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ROOF PLAN  
THE LIVINGSTON

SCALE: 1/8"=1'-0"



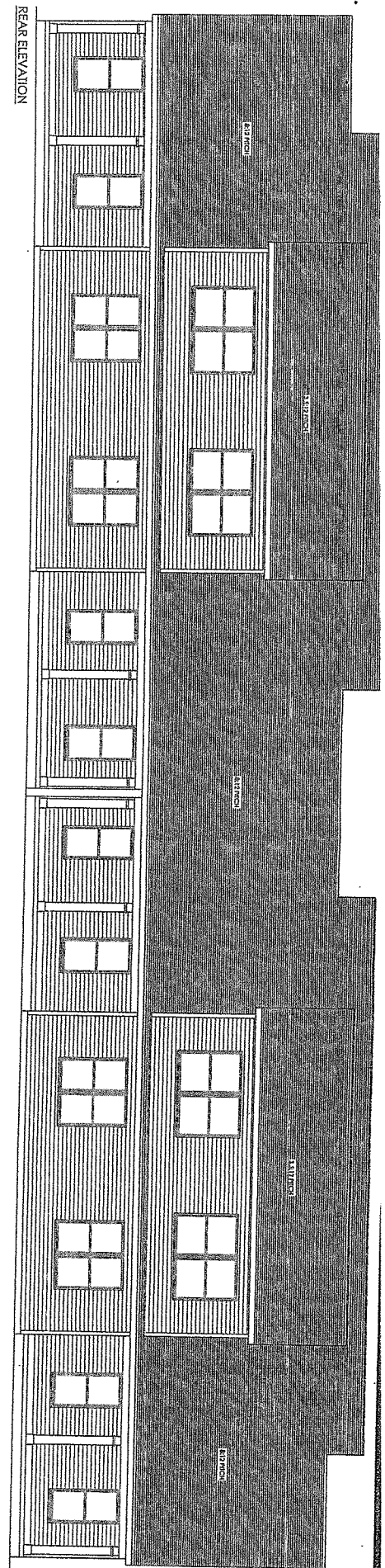
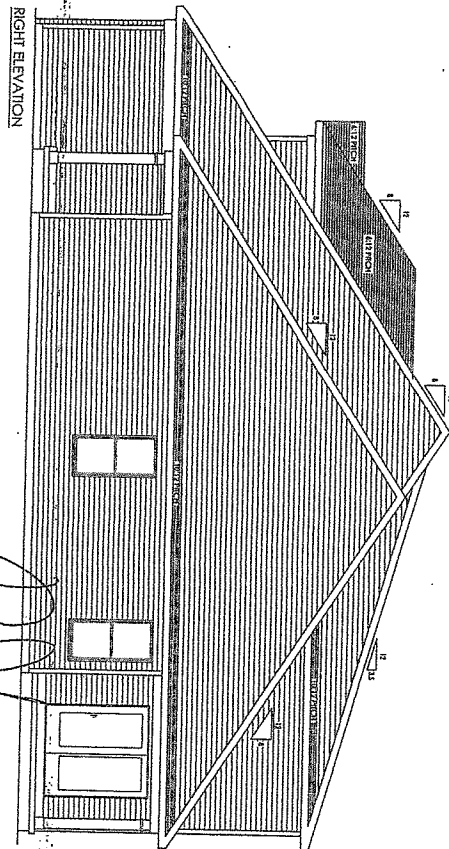
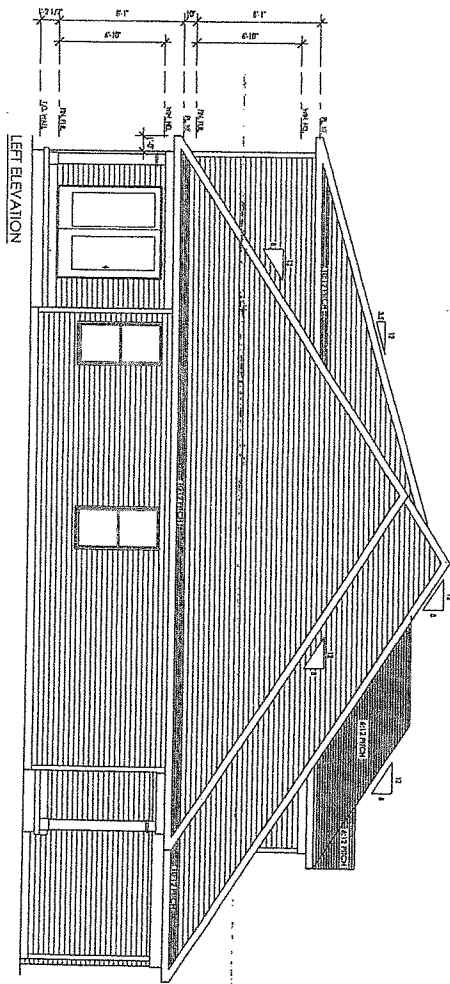
SHEET  
5



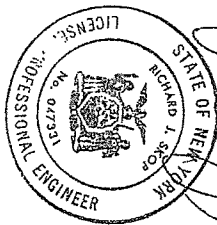
THE LIVINGSTON  
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
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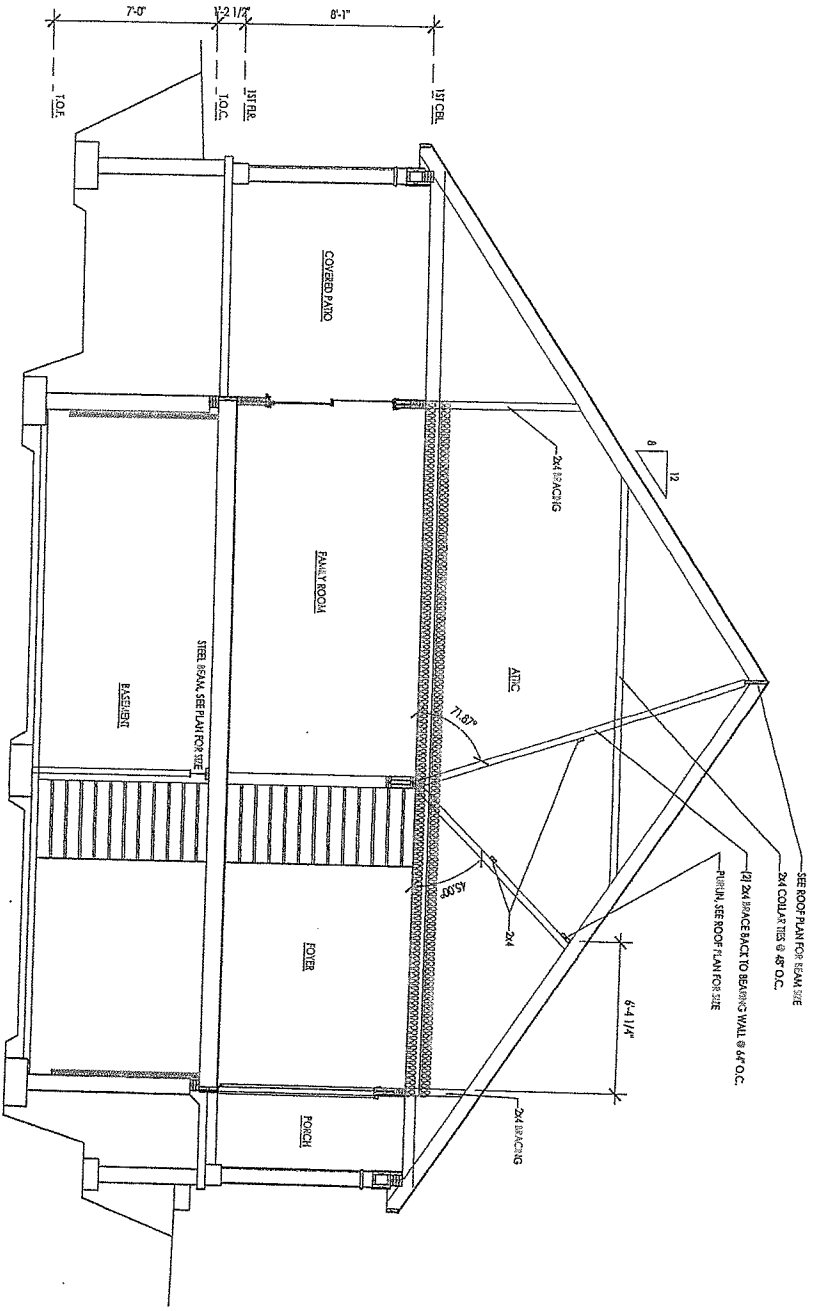
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SIDE ELEVATIONS  
THE LIVINGSTON

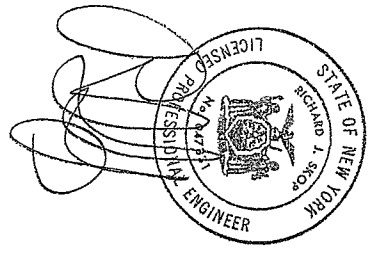


SCALE: 1/8"=1'-0"



BUILDING SECTION A  
THE LIVINGSTON

SCALE: 3/16"=1'-0"



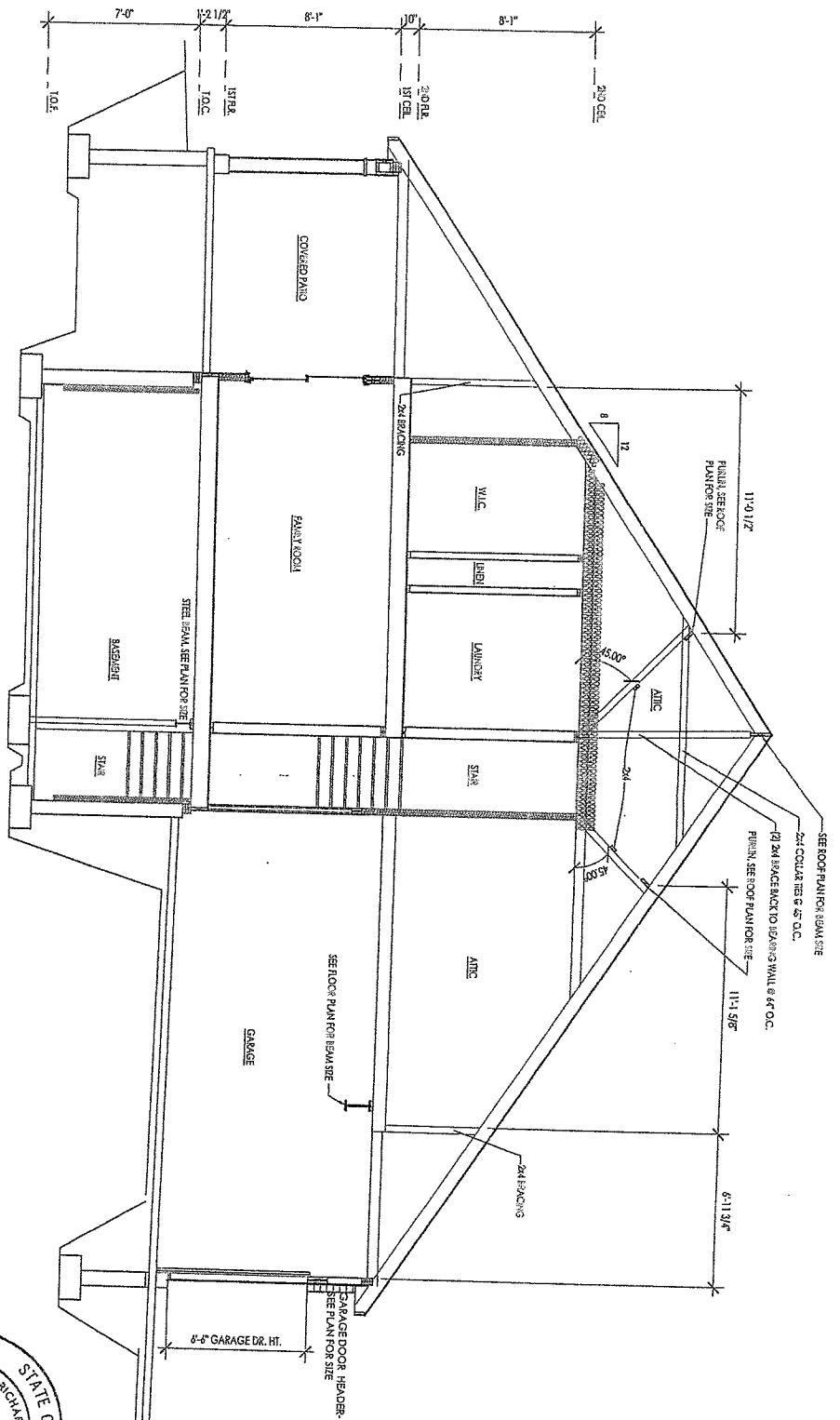
SHEET  
7

**MARRANO**

THE LIVINGSTON  
CENTRAL SQUARE VILLA TOWNHOMES

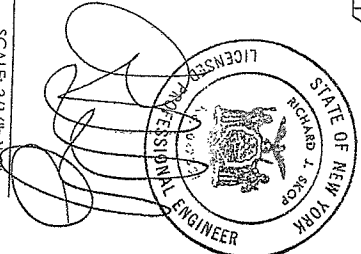
MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
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BUILDING SECTION C  
THE LIVINGSTON

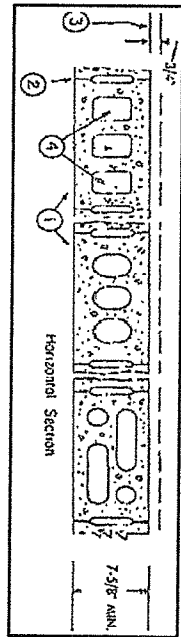
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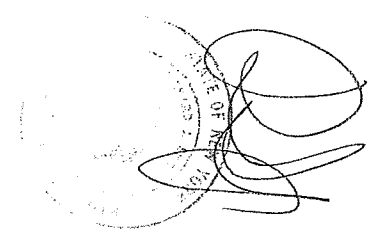
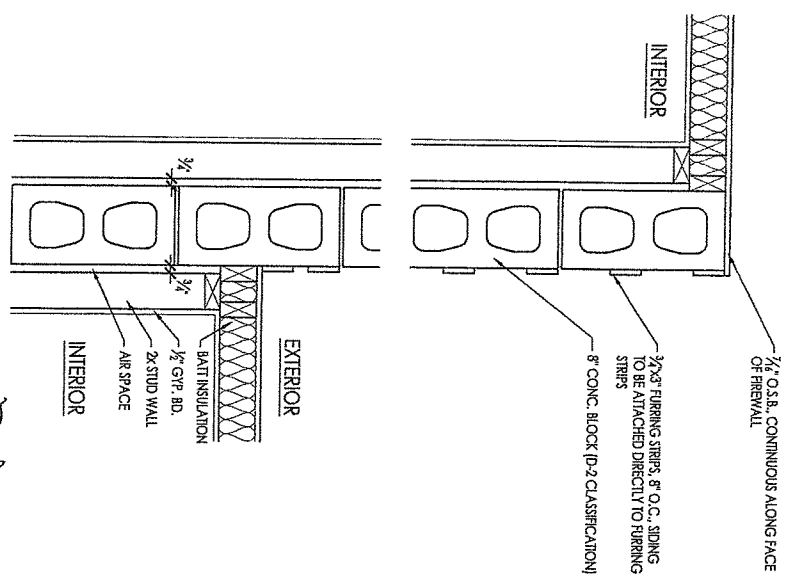
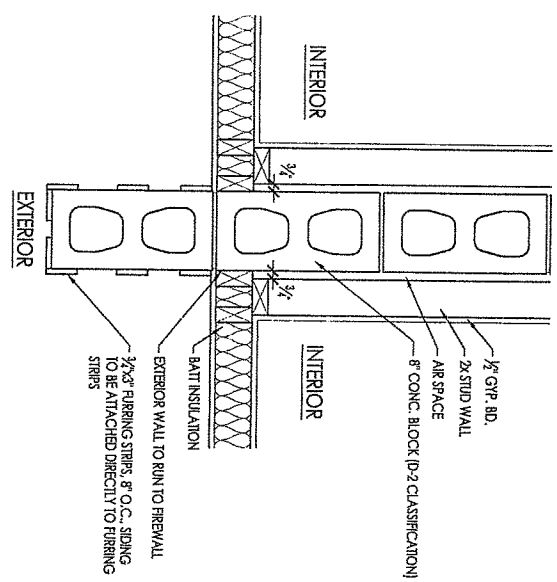
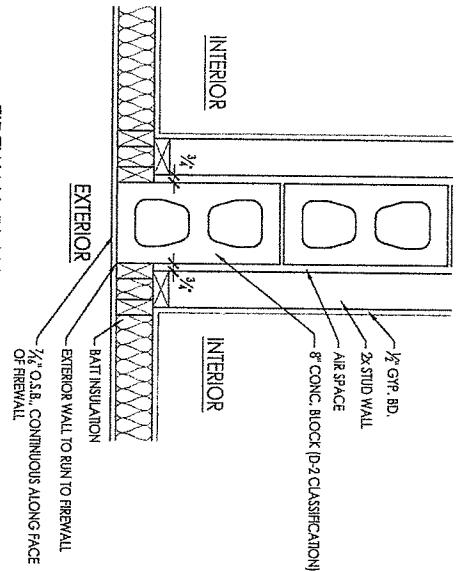


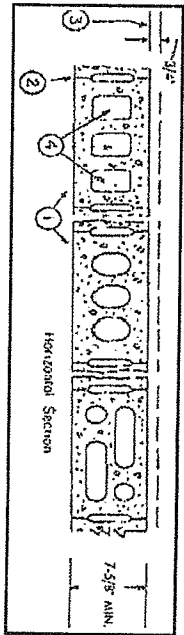
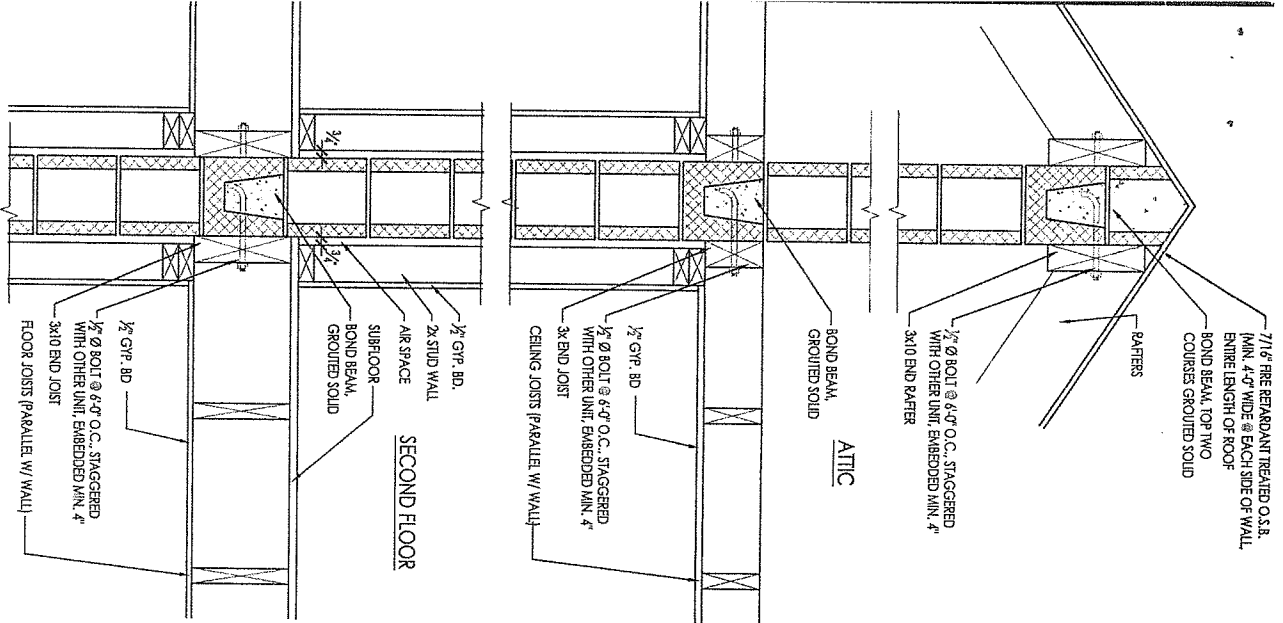
**FIREWALL PLAN DETAILS**

SCALE: 1"=1'-0"

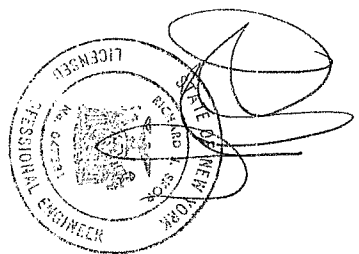
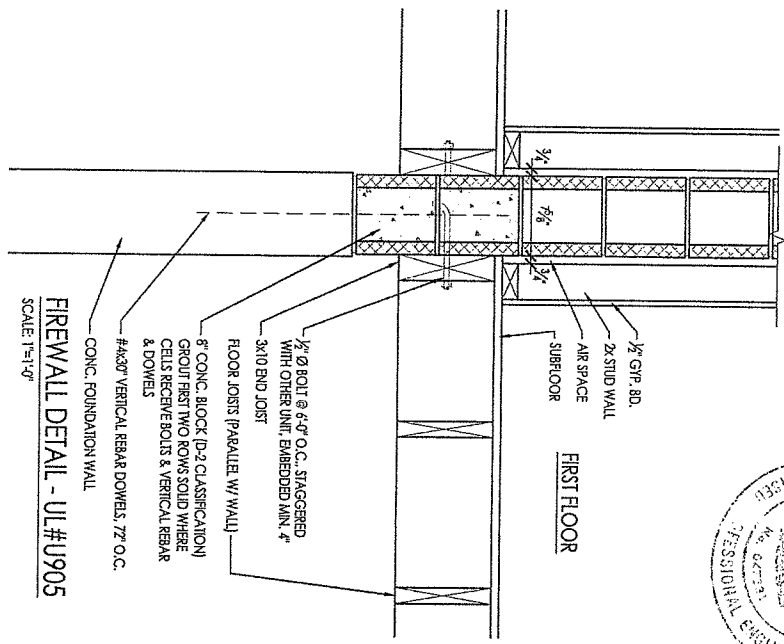


1. Concrete Blocks\* - Various designs Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on both face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (dry kiln process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
5. Framed Plastic\* - (Optional - not shown) 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).  
 Calceq Corp. - Type Texmax  
 \*Based on the UL Classification Marking



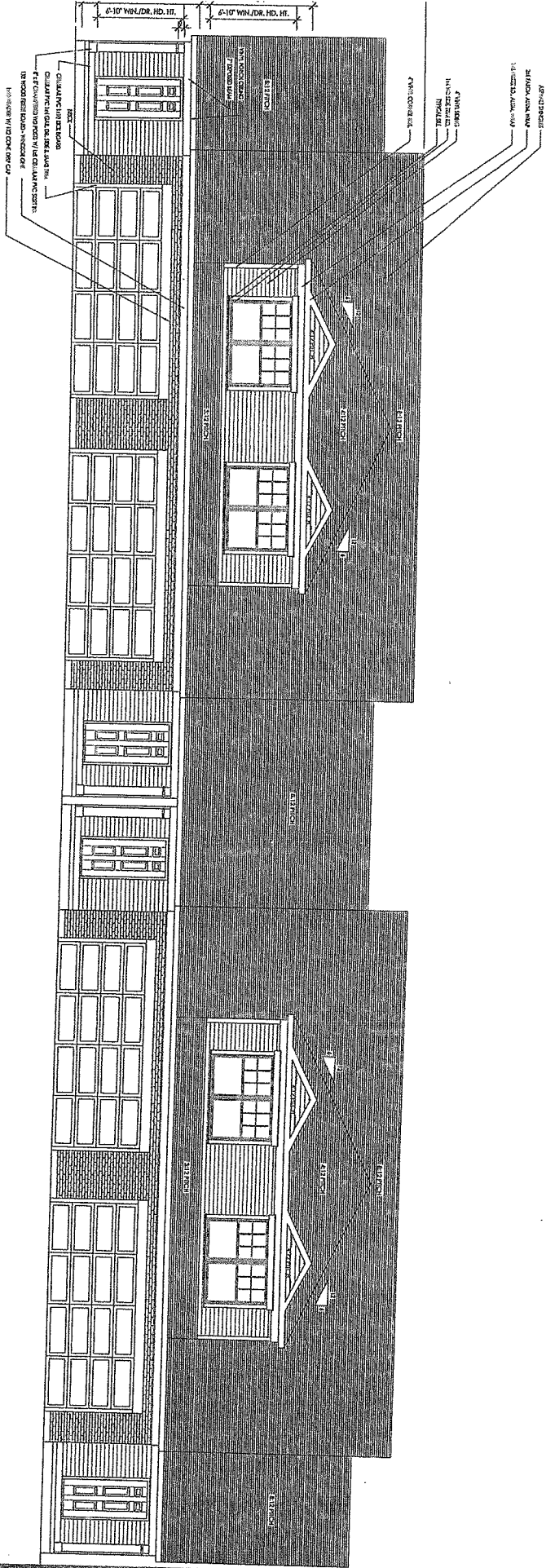


1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
  2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
  3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on both faces opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)
  4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (vary fill process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to Classification.
  5. Foamed Plastic\* - (Optional - not shown) 1-1/2 in thick max, 4 ft wide sheathing attached to concrete blocks (Item 1).
- \*Refer to the UL Classification Marking



**FIREWALL DETAIL - UL#U905**  
SCALE: 1"=1'-0"

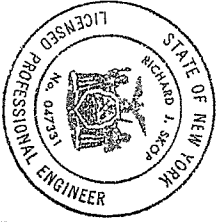




FRONT ELEVATION  
THE WINSTON

*Richard J. Skora*

4/24/09  
SCALE: 1/8" = 1'-0"



SHEET  
1

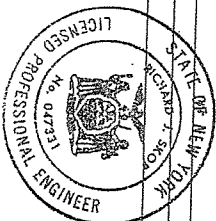


THE WINSTON  
CENTRAL SQUARE VILLA TOWNHOMES

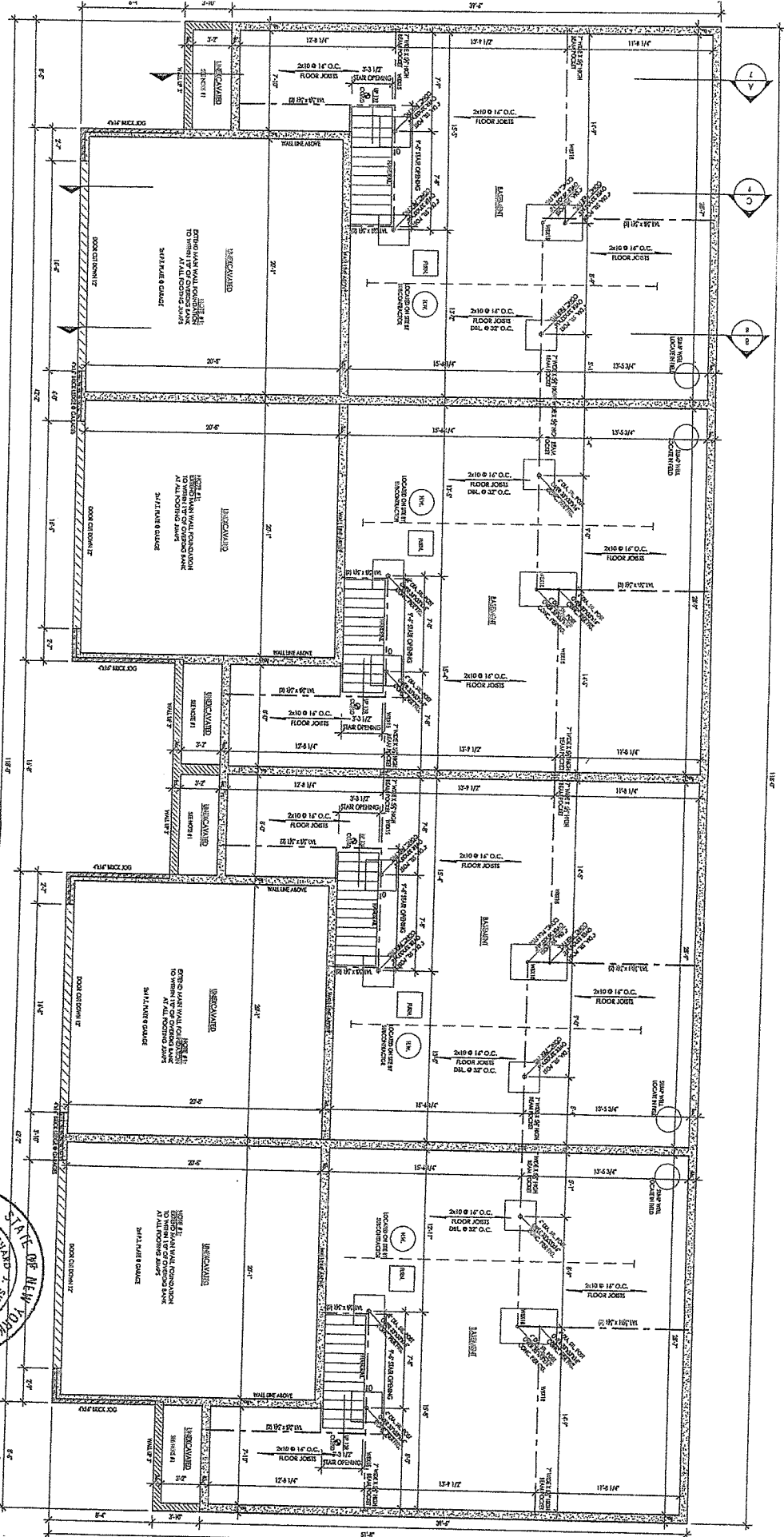
MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM

FOUNDATION PLAN  
THE WINSTON

SCALE: 1/8"=1'-0"

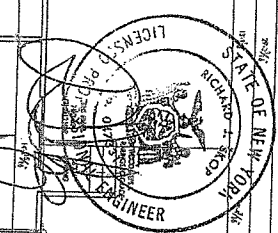
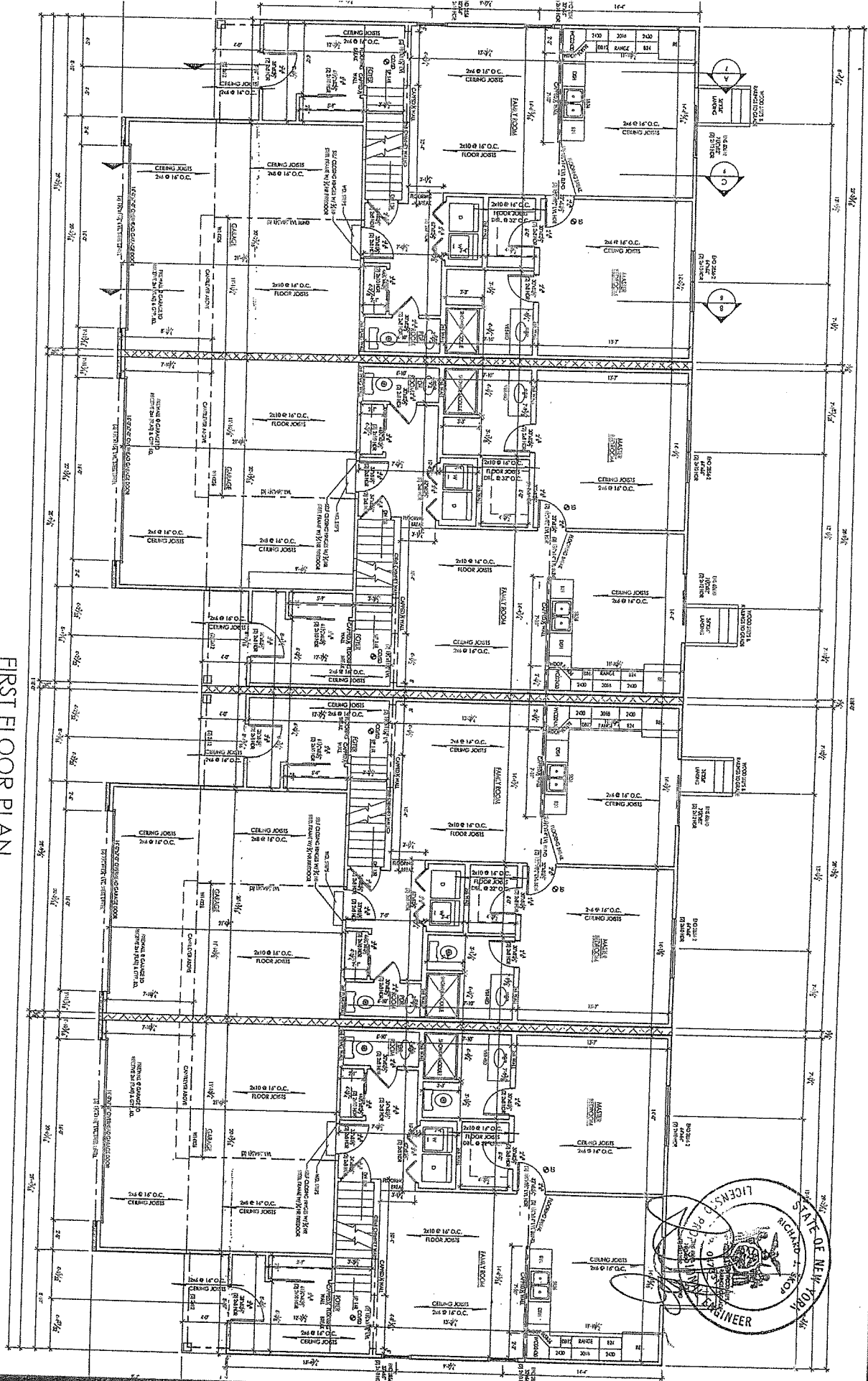


*[Handwritten Signature]*



FIRST FLOOR PLAN  
THE WINSTON

SCALE: 1/8" = 1'-0"

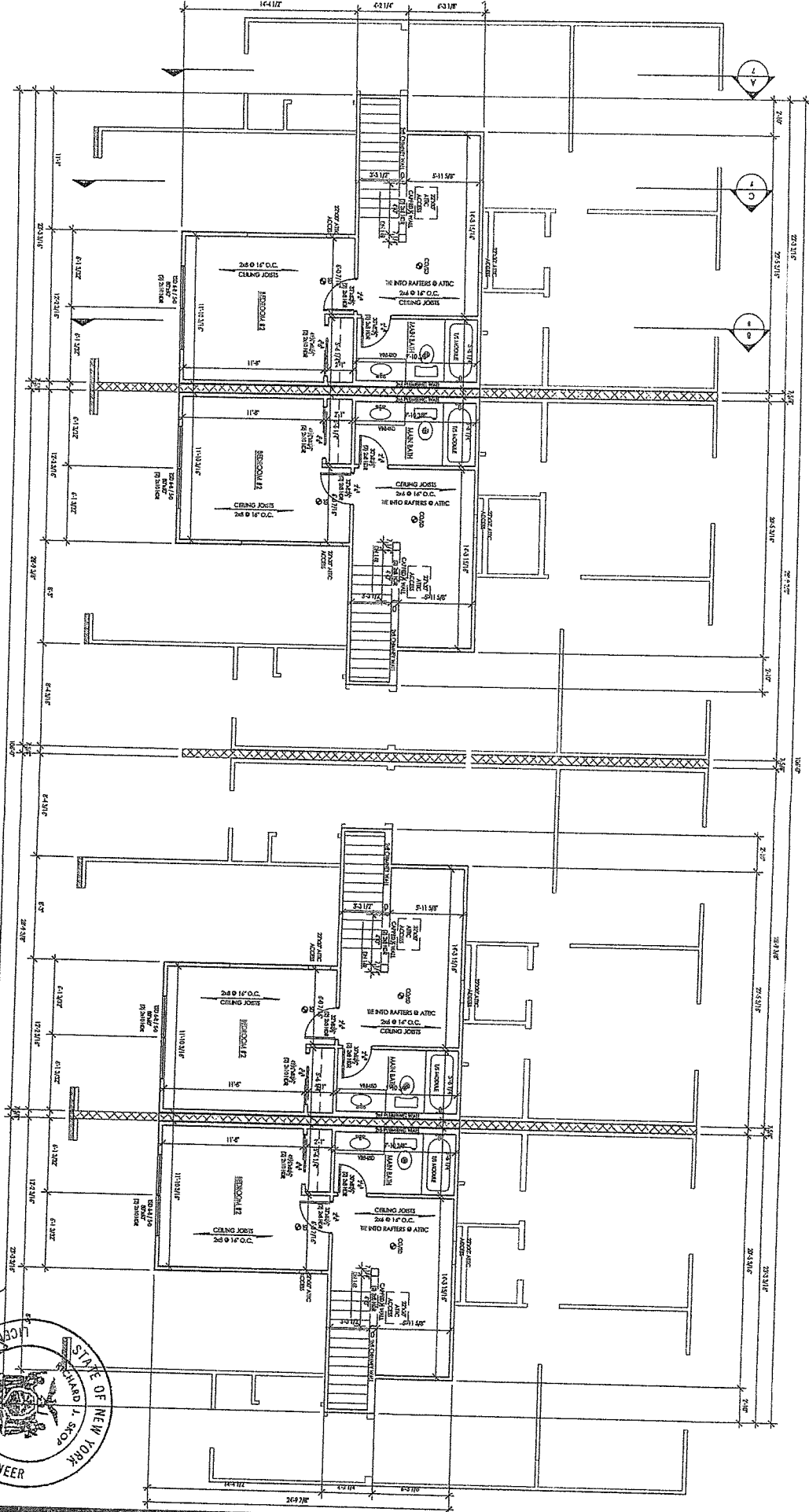


SHEET  
3

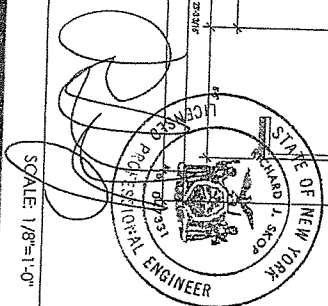


THE WINSTON  
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SECOND FLOOR PLAN  
THE WINSTON



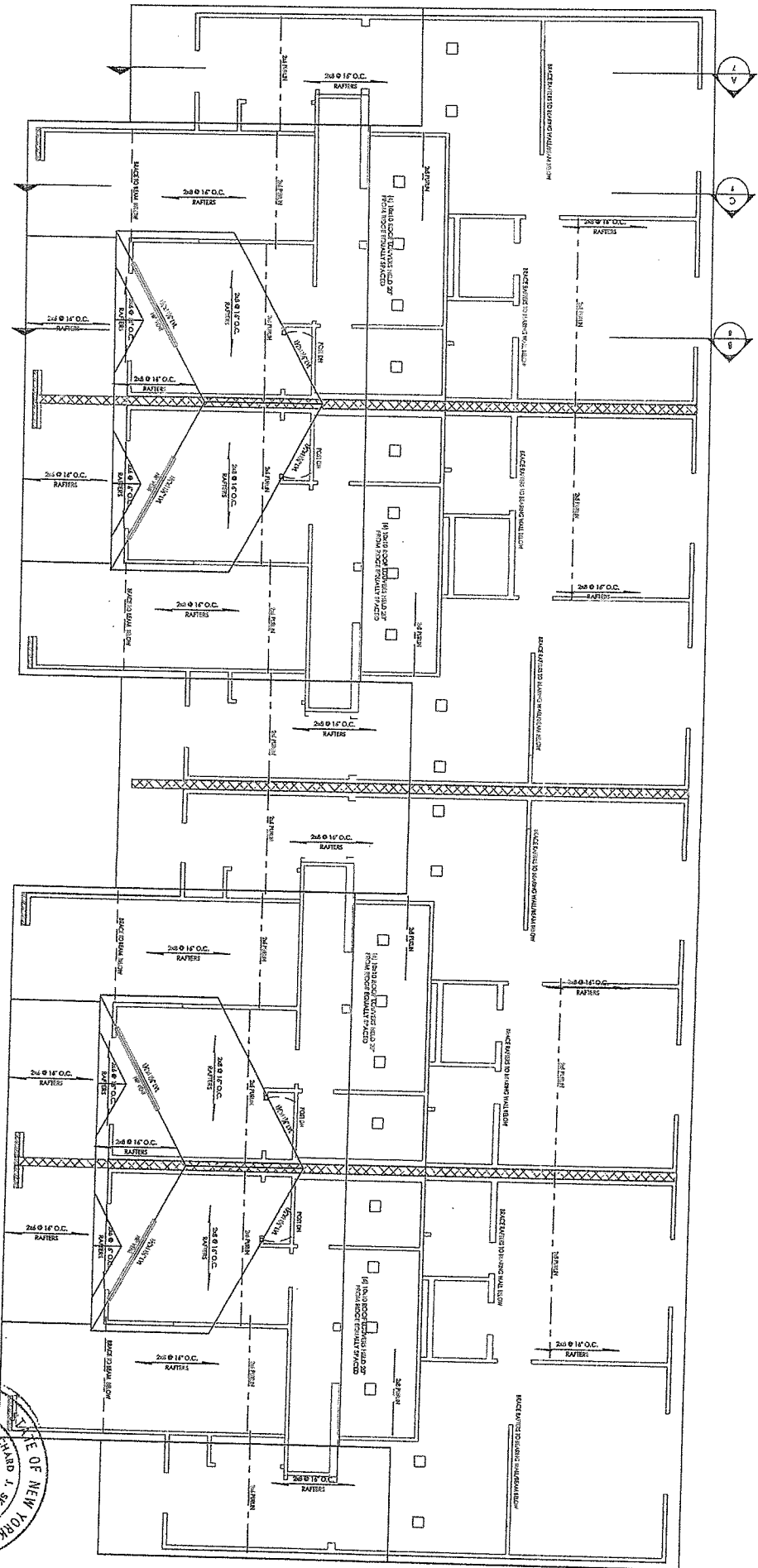
SCALE: 1/8"=1'-0"

SHEET  
4



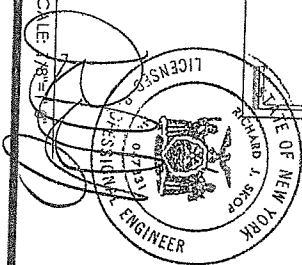
THE WINSTON  
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ROOF PLAN  
THE WINSTON

SCALE: 1/8\"/>



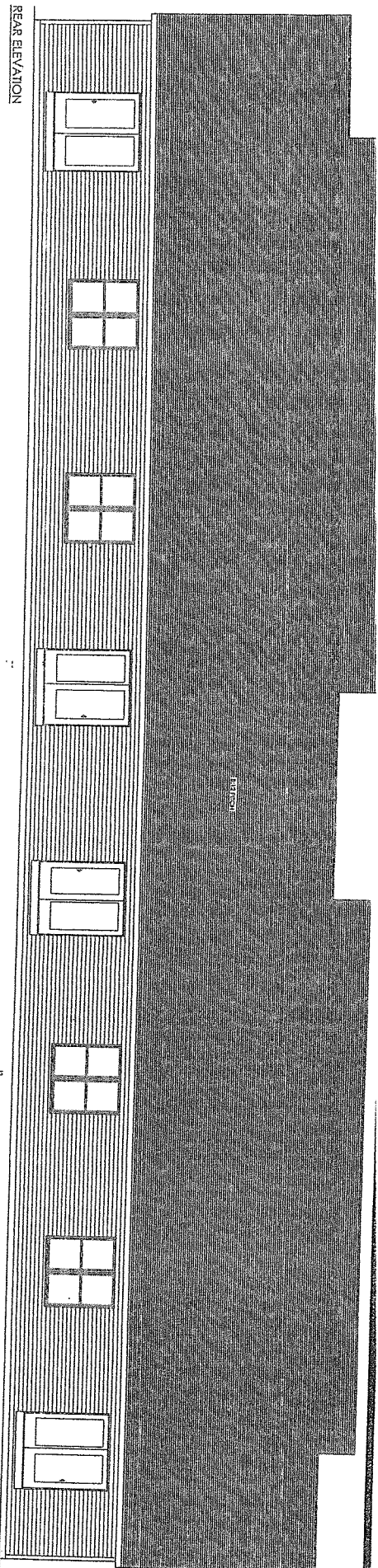
SHEET  
5



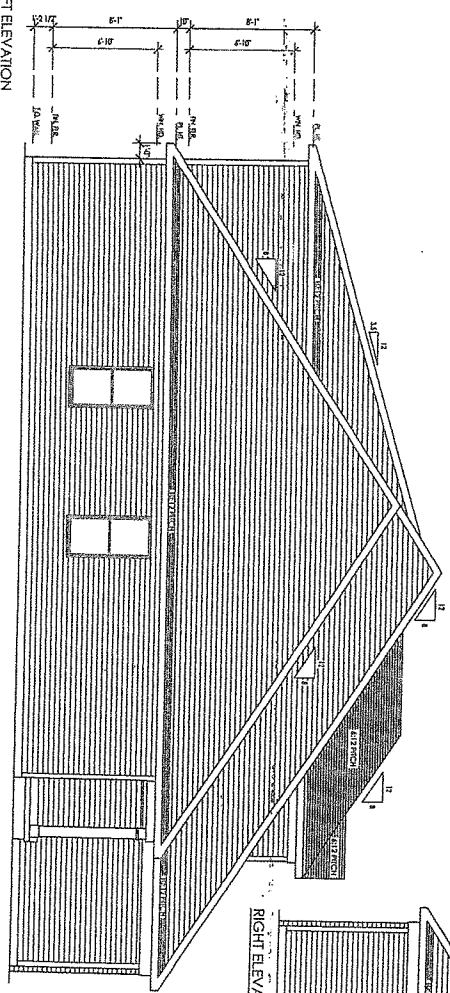
THE WINSTON  
CENTRAL SQUARE VILLA TOWNHOMES

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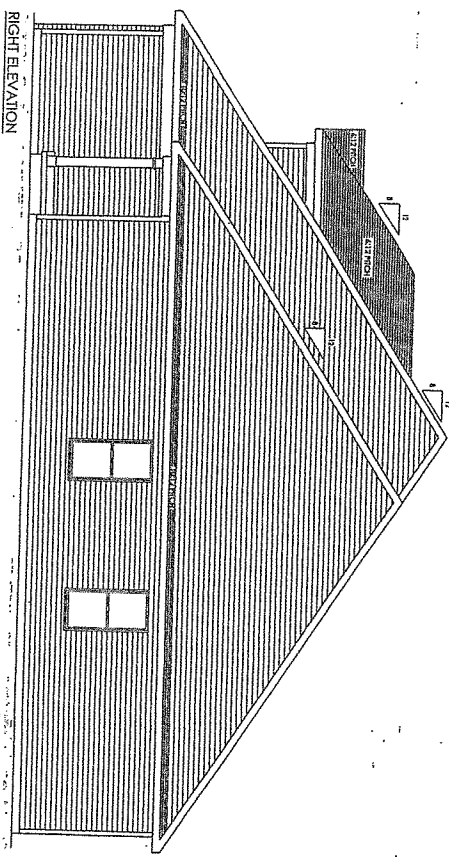




REAR ELEVATION

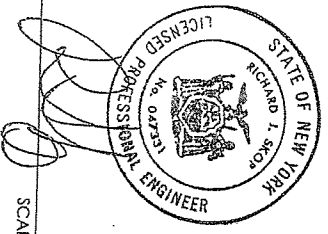


LEFT ELEVATION

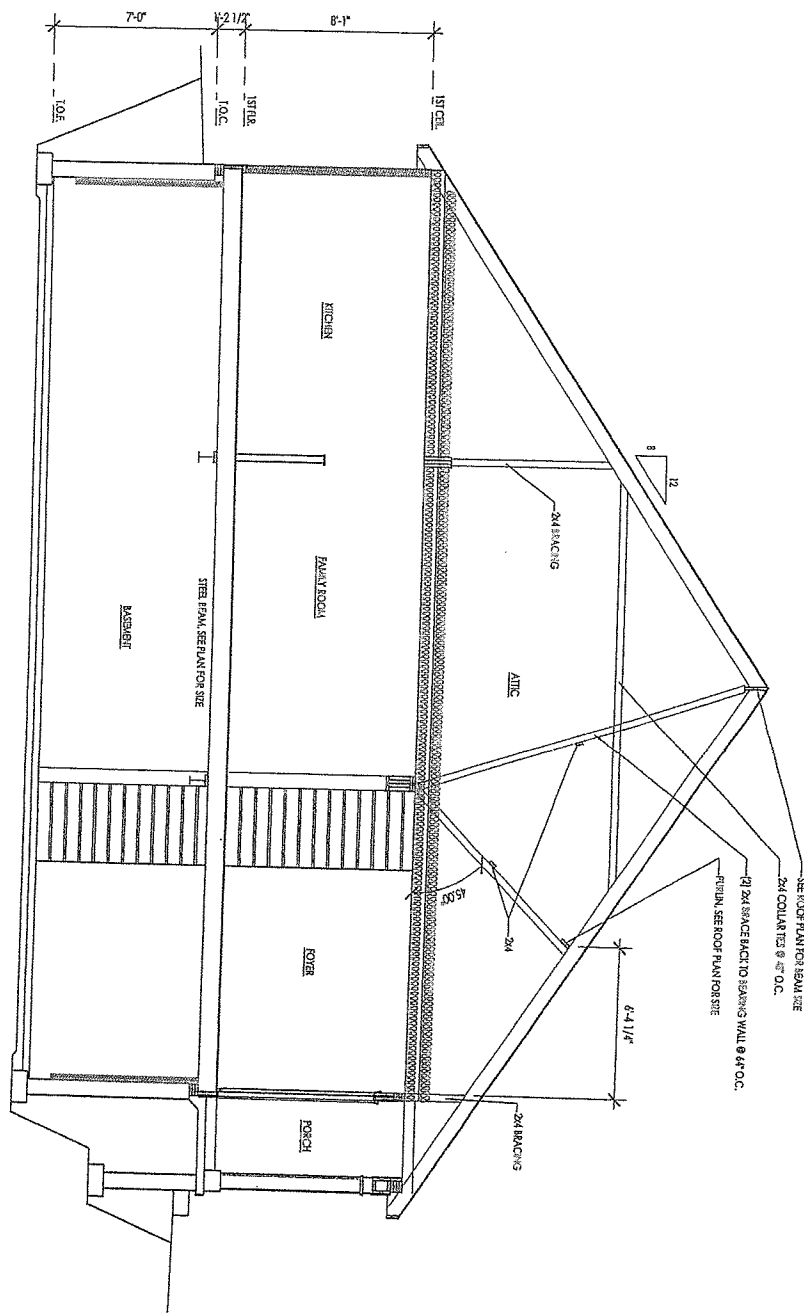


RIGHT ELEVATION

SIDE ELEVATIONS  
THE WINSTON



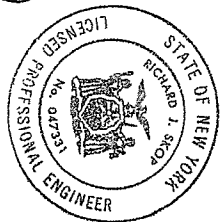
SCALE: 1/8"=1'-0"



BUILDING SECTION A  
THE WINSTON

SCALE 3/16"=1'-0"

*[Handwritten signature]*

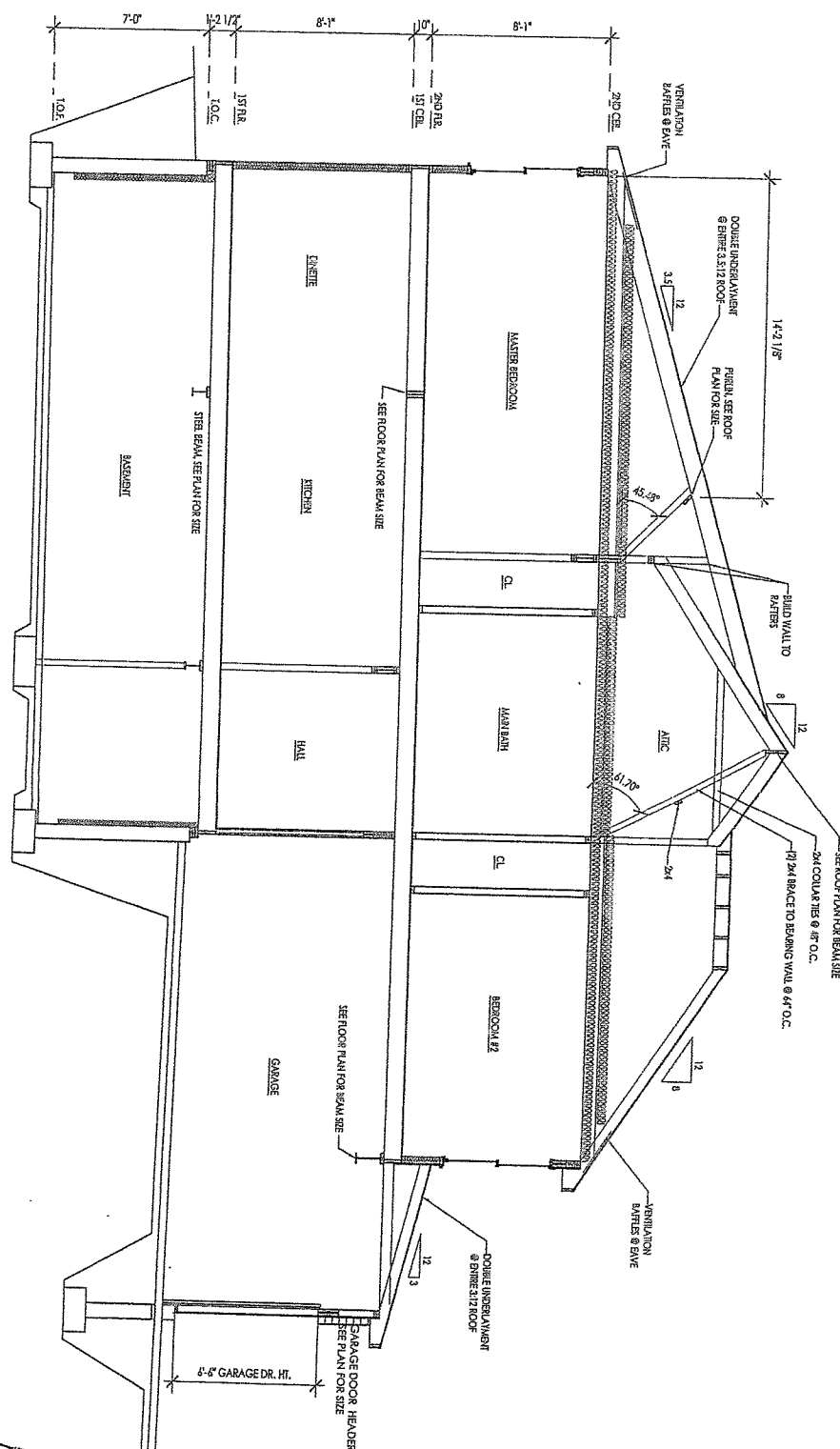


7 SHEET

**MARRANO**

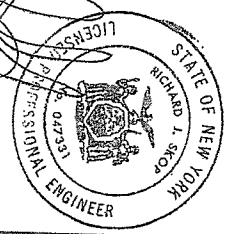
THE WINSTON  
CENTRAL SQUARE VILLA TOWNHOMES

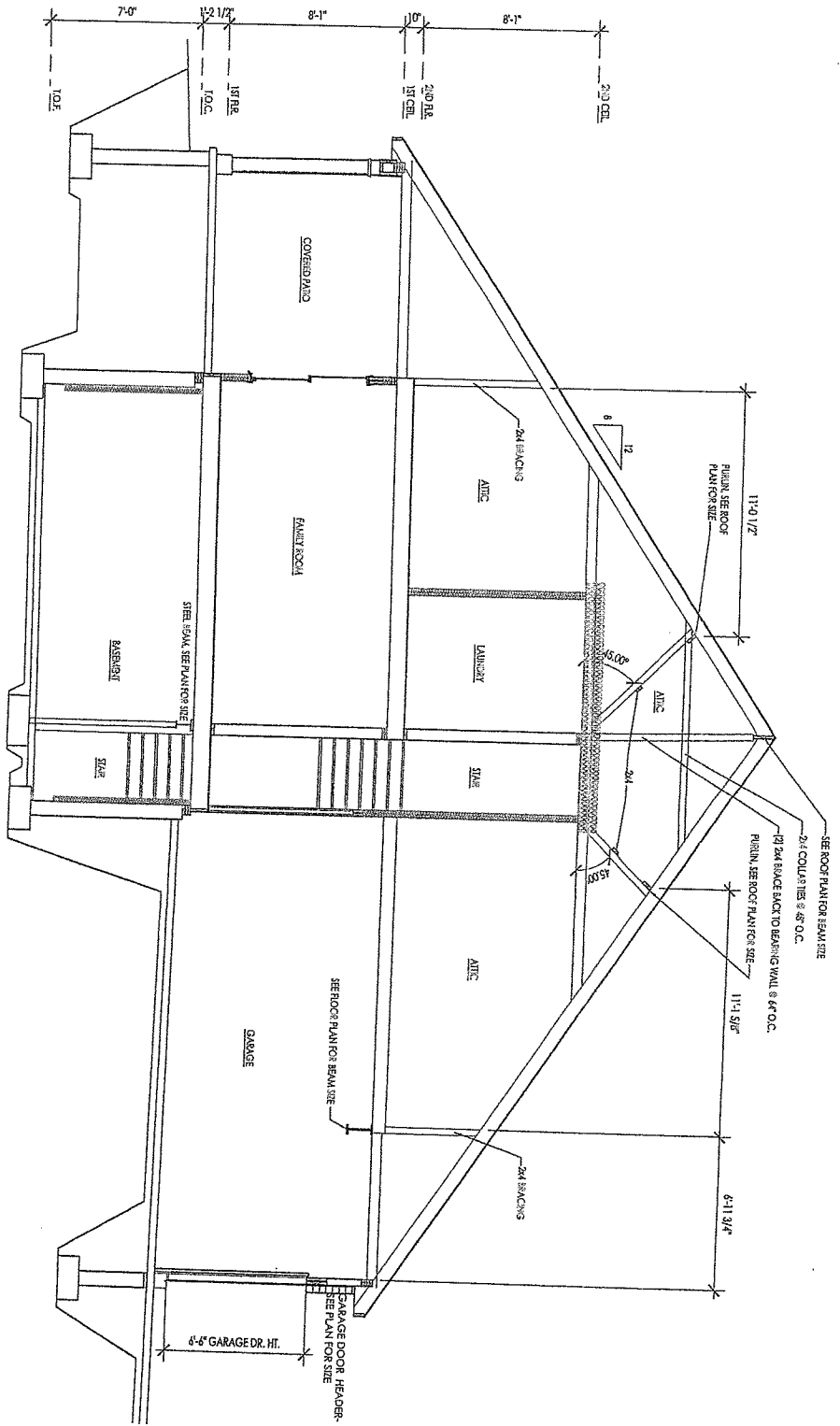
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WEST SENECA, NY 14224  
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BUILDING SECTION B  
THE WINSTON

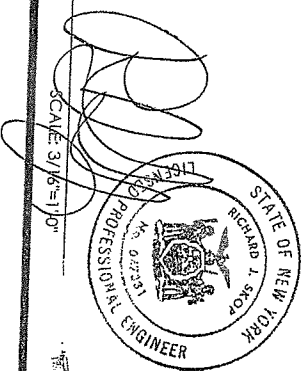
SCALE: 3/16" = 1'-0"





**BUILDING SECTION C.**  
THE WINSTON

SCALE: 3/8"=1'-0"



SHEET  
**9**

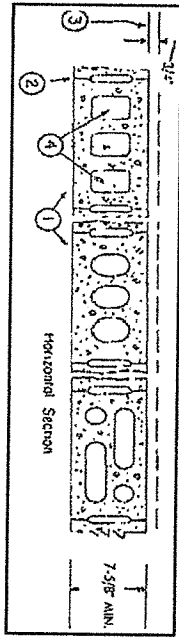
**MARRANO**

THE WINSTON  
CENTRAL SQUARE VILLA TOWNHOMES

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2730 TRANSIT ROAD  
WEST SENeca, NY 14224  
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WWW.MARRANO.COM

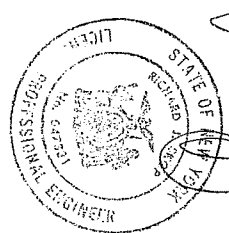
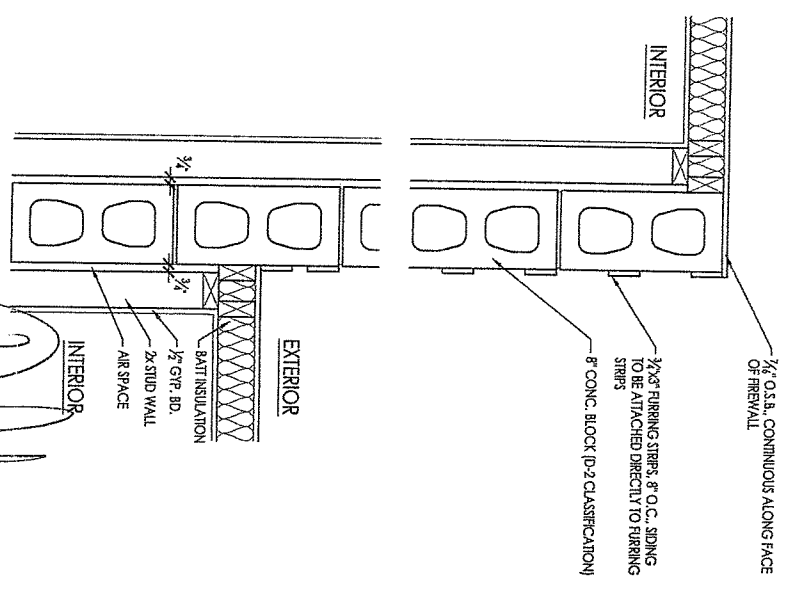
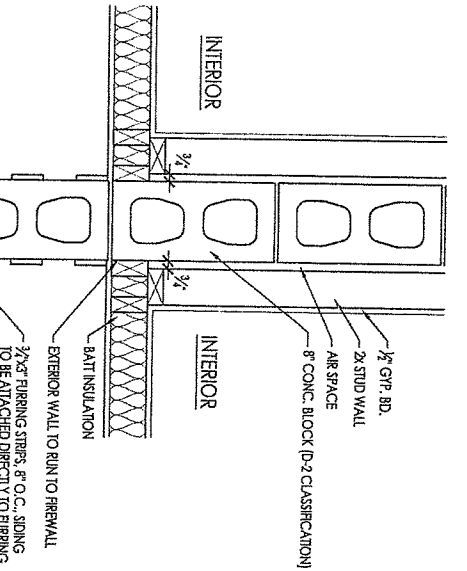
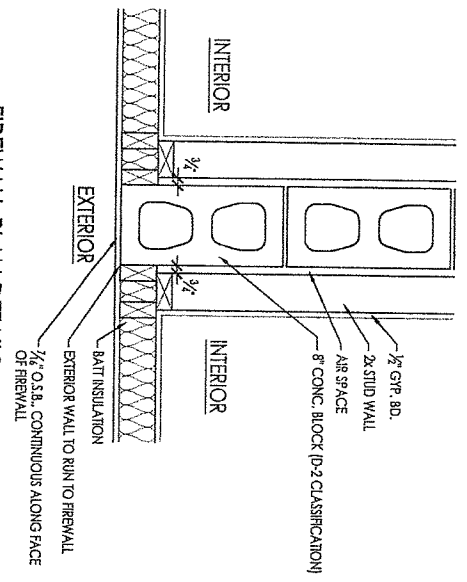
**FIREWALL PLAN DETAILS**

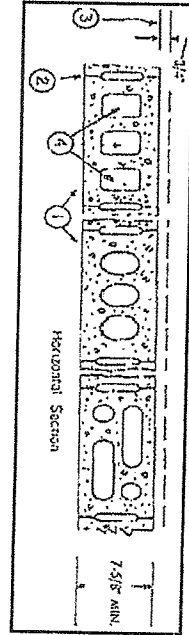
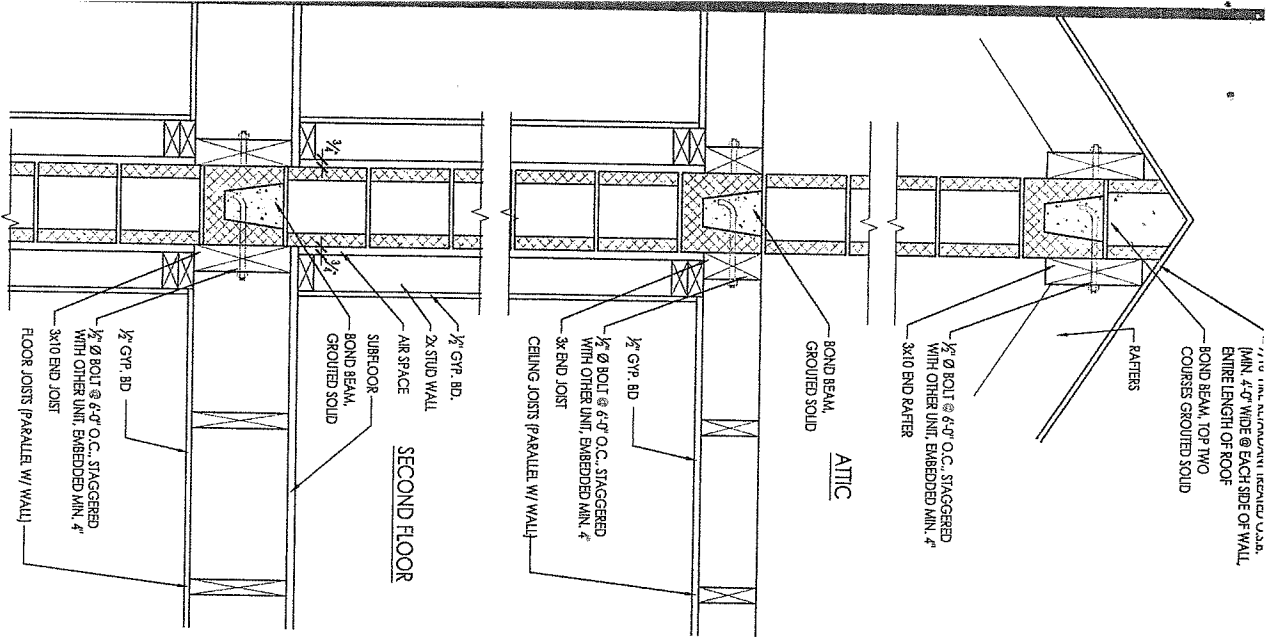
SCALE: 1"=1'-0"



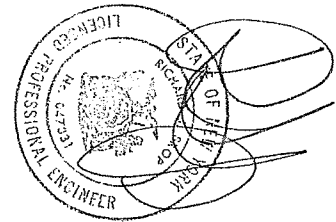
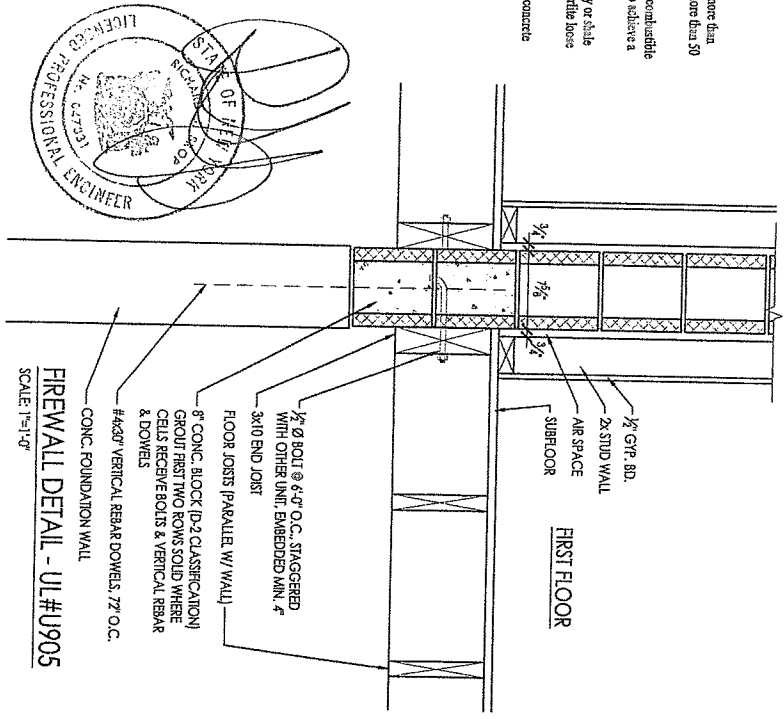
1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, nom. 3/8 in. thick, or not less than 2-1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (or cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (only Edu process), water repellent Vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
5. Foamed Plastic\* (Optional - not shown) 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).  
Celtek Corp. - Type Thermax

\*Repeating the UL Classification Marking





1. Concrete Blocks\* - Various designs Classification D-2 (2 hr).
  2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
  3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. in Classification. Where expandable mounds are formed in wall, plaster or stucco must be applied on its face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1).
  4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (only fill process), water repellent vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to Classification.
  5. Formed Plaster\* - (Optional - not shown) 1-1/2 in. thick max. 4 ft wide sheathing attached to concrete blocks (Item 1).  
Celotex Corp. - Type Thermax
- \*Retaining the UL Classification Marking



FIREWALL DETAIL - UL#U905  
SCALE: 1"=1'-0"



3/3/11

**GENERAL NOTES**

- PLANS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF MARRANO/MARC EQUITY CORPORATION (MARRANO). UNAUTHORIZED USE OR REPRODUCTION OF PLANS AND SPECIFICATIONS WITHOUT WRITTEN CONSENT IS PROHIBITED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.

**FLOOR NOTES**

- REMOVE EXISTING FLOOR AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING FLOOR AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING FLOOR AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING FLOOR AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING FLOOR AND RECONSTRUCT AS SHOWN.

**WALL NOTES**

- DOUBLE EXTERIOR WALL AT TOP OF WALL.
- INTERIOR WALLS ARE 2x4 STUDS, 1/2" O.C. JUNG.
- EXTERIOR WALLS ARE 2x4 STUDS, 1/2" O.C. JUNG.
- EXTERIOR WALLS ARE 2x4 STUDS, 1/2" O.C. JUNG.
- EXTERIOR WALLS ARE 2x4 STUDS, 1/2" O.C. JUNG.

**LUMBER SPECIES & TRIM**

- ALL LUMBER TO BE A MINIMUM OF #2 GRADE.
- ALL LUMBER TO BE A MINIMUM OF #2 GRADE.
- ALL LUMBER TO BE A MINIMUM OF #2 GRADE.
- ALL LUMBER TO BE A MINIMUM OF #2 GRADE.
- ALL LUMBER TO BE A MINIMUM OF #2 GRADE.

**INSULATION NOTES**

- REMOVE EXISTING INSULATION AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING INSULATION AND RECONSTRUCT AS SHOWN.
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- REMOVE EXISTING INSULATION AND RECONSTRUCT AS SHOWN.

**CEILING NOTES**

- REMOVE EXISTING CEILING AND RECONSTRUCT AS SHOWN.
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- REMOVE EXISTING CEILING AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING CEILING AND RECONSTRUCT AS SHOWN.

**ROOF NOTES**

- SHEATHING AT ROOF TO BE 3/4" OSB.
- ROOF UNDERLAYMENT TO BE 1/2" FELT PAPER.
- SINGLE LAYER OF ICE AND WATER SHIELD.
- SINGLE LAYER OF ICE AND WATER SHIELD.
- SINGLE LAYER OF ICE AND WATER SHIELD.

**TUB DECK NOTES (IF PURCHASED)**

- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.

**FIRE SEPARATION**

- FIRE SEPARATION IN HOME WITH ATTACHED GARAGE TO CONFORM TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101.
- FIRE SEPARATION IN HOME WITH ATTACHED GARAGE TO CONFORM TO THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 101.
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**CEILING NOTES**

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**TUB DECK NOTES (IF PURCHASED)**

- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
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- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.
- REMOVE EXISTING TUB DECK AND RECONSTRUCT AS SHOWN.

**FLOOR SYSTEM**

FLOOR SYSTEM	7'-0" BASEMENT	8'-0" BASEMENT	9'-0" BASEMENT	8'-11" 1ST/2ND FLOORS	7'-11" 1ST/2ND FLOORS	10'-11" 1ST/2ND FLOORS
3/4" T&G OSB DECKING OVER 2x10	13 @ 24" E&C (1027)	13 @ 24" E&C (1027)	13 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)
3/4" T&G OSB DECKING OVER 2x12	13 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)
3/4" T&G OSB DECKING OVER 1 1/2" x 11"	13 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)

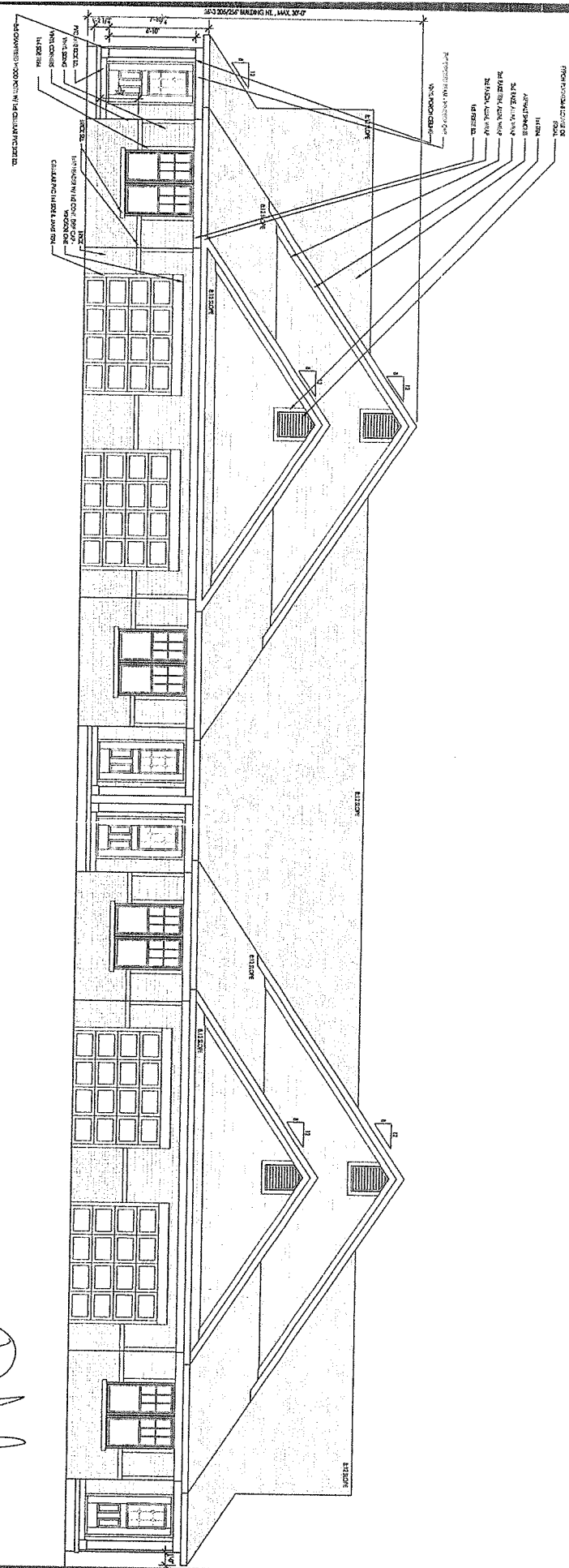
**TYPICAL RISER COUNT AND HEIGHT**

TYPICAL RISER COUNT AND HEIGHT	8'-11" 1ST/2ND FLOORS	7'-11" 1ST/2ND FLOORS	10'-11" 1ST/2ND FLOORS
10'-0" UNLESS NOTED OTHERWISE	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)
10'-0" UNLESS NOTED OTHERWISE	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)
10'-0" UNLESS NOTED OTHERWISE	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)	14 @ 24" E&C (1027)

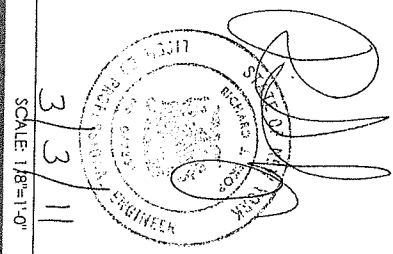
**SYMBOLS AND ABBREVIATIONS**

SYMBOLS AND ABBREVIATIONS	DESCRIPTION
UNO	UNLESS NOTED OTHERWISE
O.C.	ON CENTER
T.O.	TOP OF
T.O.W.	TOP OF WALL
T.O.C.	TOP OF CONCRETE
C.L.	CENTER LINE
PL	PLATE
T&G	TONGUE AND GROOVE
L&V	LAMINATED VENEER LUMBER
LS	LAMINATED STRAND LUMBER
OSB	ORIENTED STRAND BOARD
M&E	MARRANO/MARC EQUITY CORPORATION

**MODEL:**  
 ELEVATION:  
 HAND OF HOUSE:  
 CONTRACT DATE:  
 JOB CODE:  
 SALES:  
 DRAWING:  
 REVISING:  
 COORDINATION:  
 PRODUCTION:  
 1ST FLOOR GROSS: S.F.  
 2ND FLOOR GROSS: S.F.  
 CLOSET/STAIR SPACE: S.F.  
 GARAGE: S.F.  
 PORCHES: S.F.  
 BASEMENT SLAB: S.F.  
 GARAGE SLAB: S.F.



FRONT ELEVATION  
THE YORK



3 3 11  
SCALE: 1/8"=1'-0"

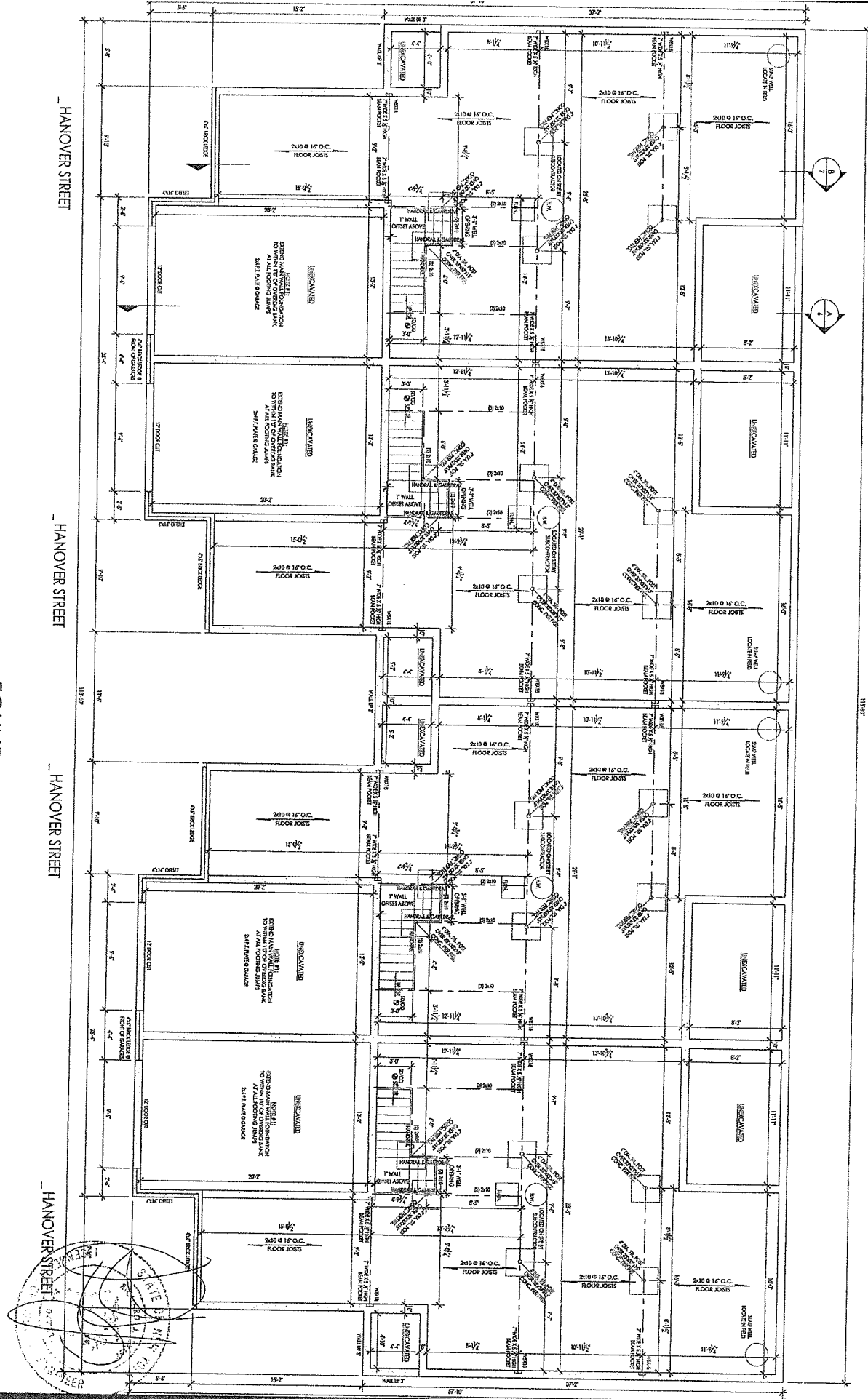
SHEET  
1

**MARRANO**

THE YORK  
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HANOVER STREET

HANOVER STREET

HANOVER STREET

HANOVER STREET

FOUNDATION PLAN  
THE YORK

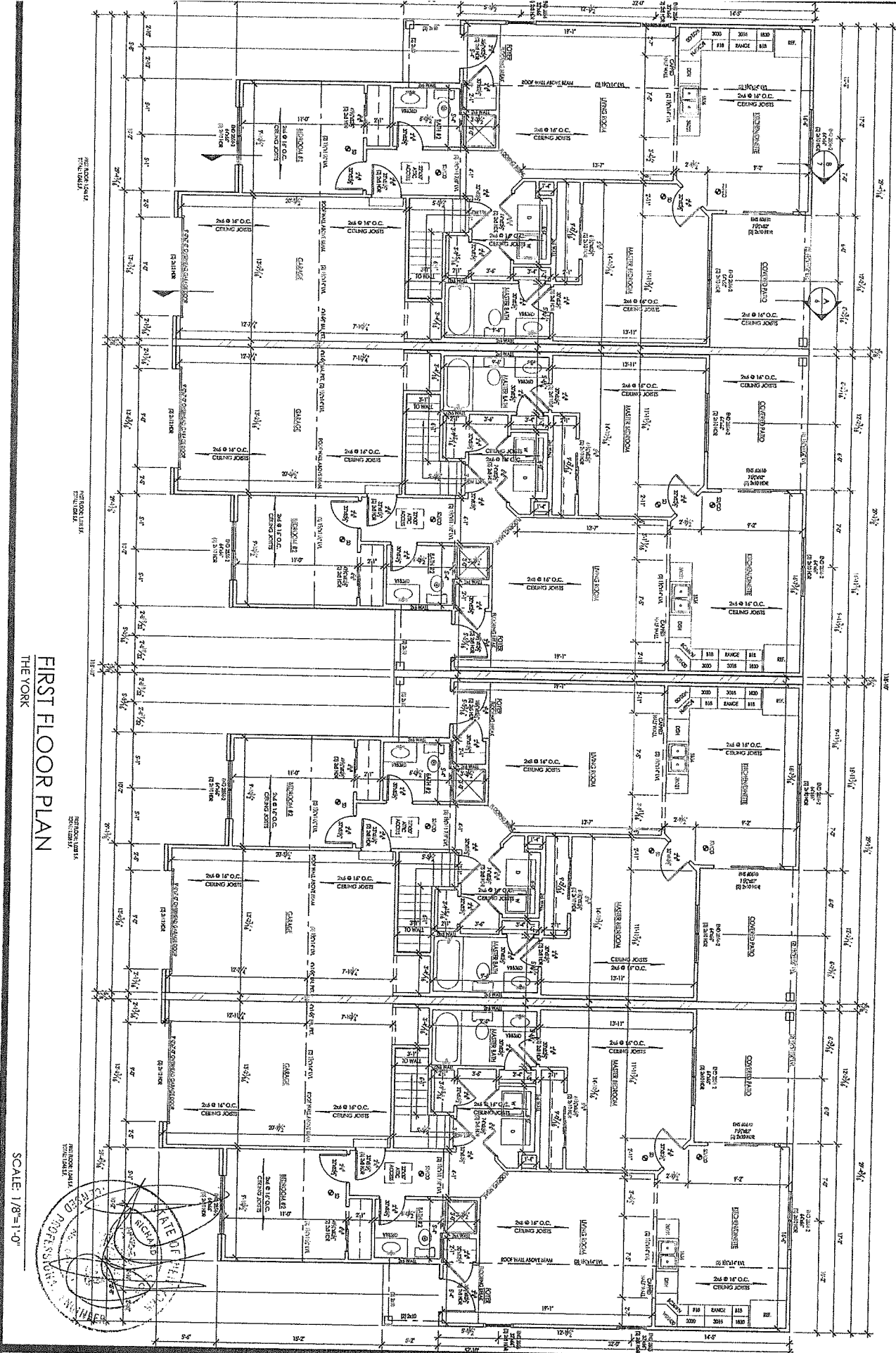
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SHEET  
2



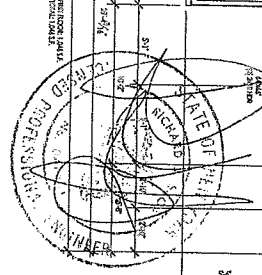
THE YORK  
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
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**FIRST FLOOR PLAN**  
THE YORK

SCALE: 1/8"=1'-0"

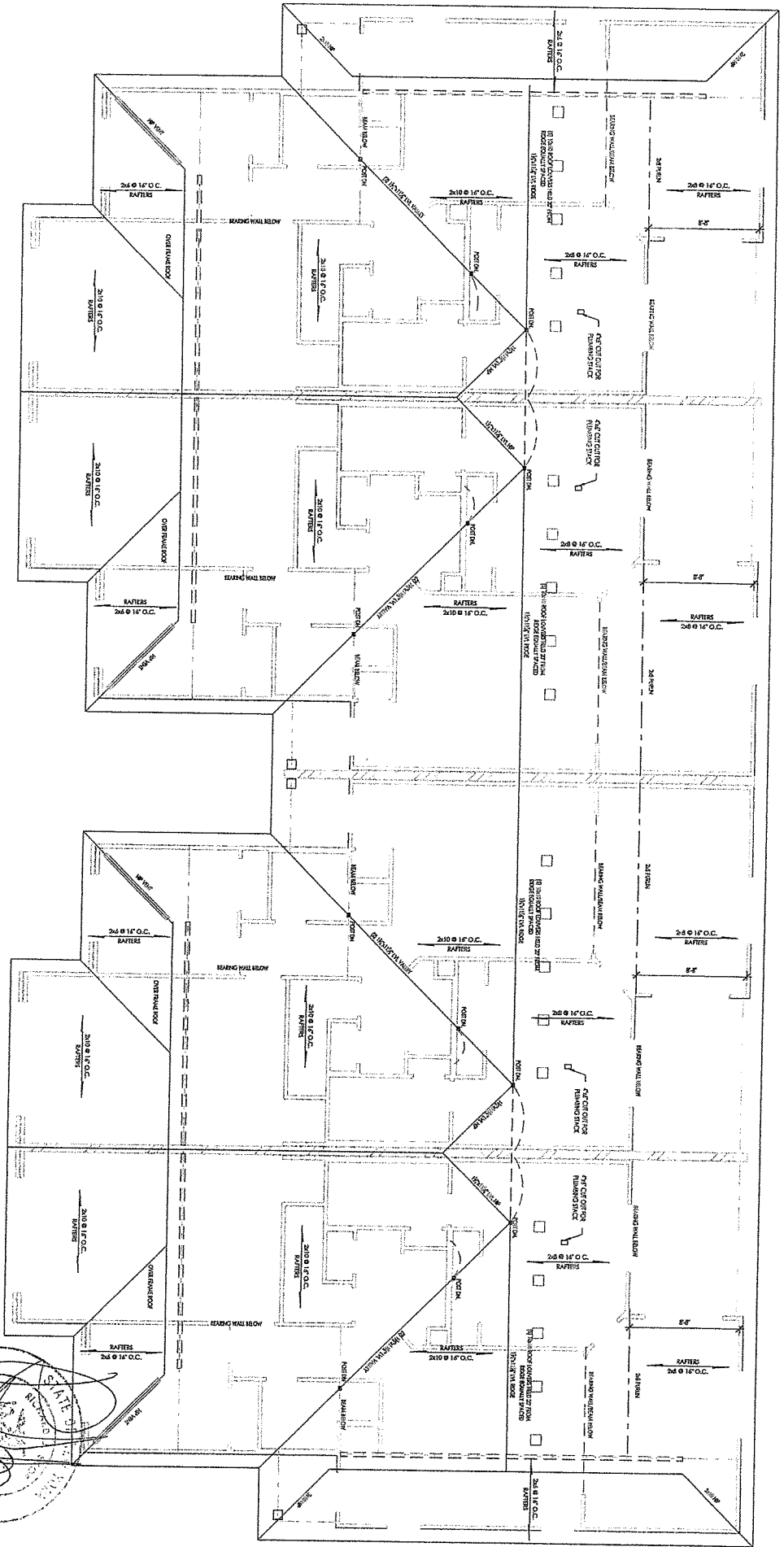


3 SHEET

**MARRANO**

THE YORK  
CENTRAL SQUARE VILLA TOWNHOMES

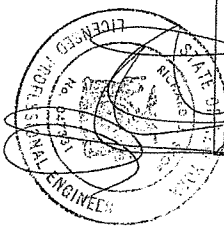
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WEST SENECA, NY 14224  
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**ROOF PLAN**

THE YORK

SCALE: 1/8"=1'-0"

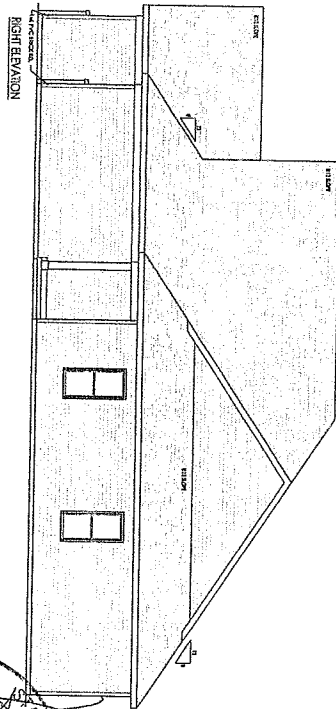
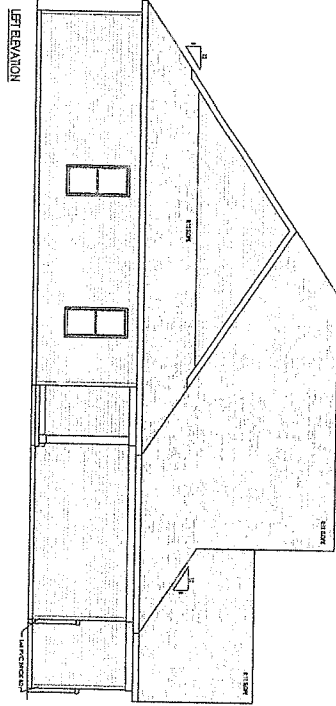
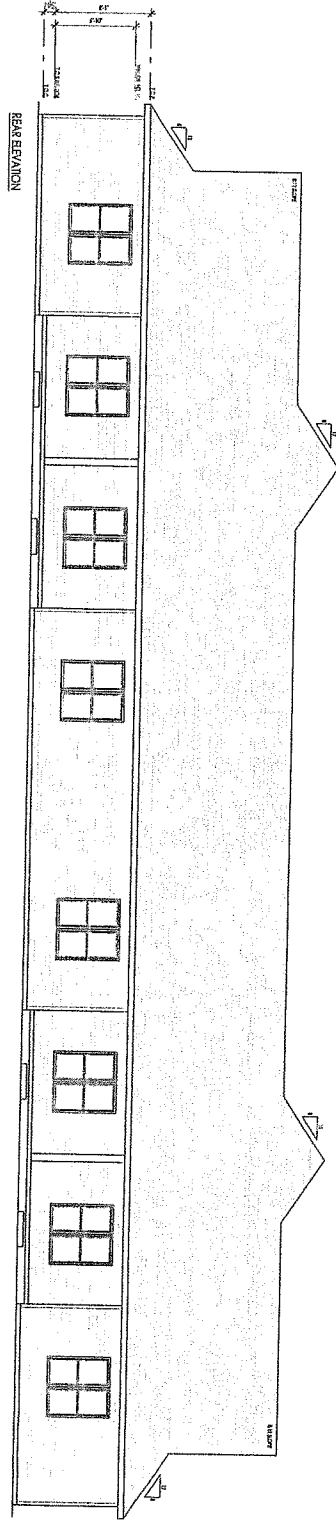


SHEET  
4



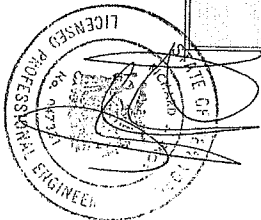
THE YORK  
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SIDE ELEVATIONS  
THE YORK

SCALE: 3/32"=1'-0"

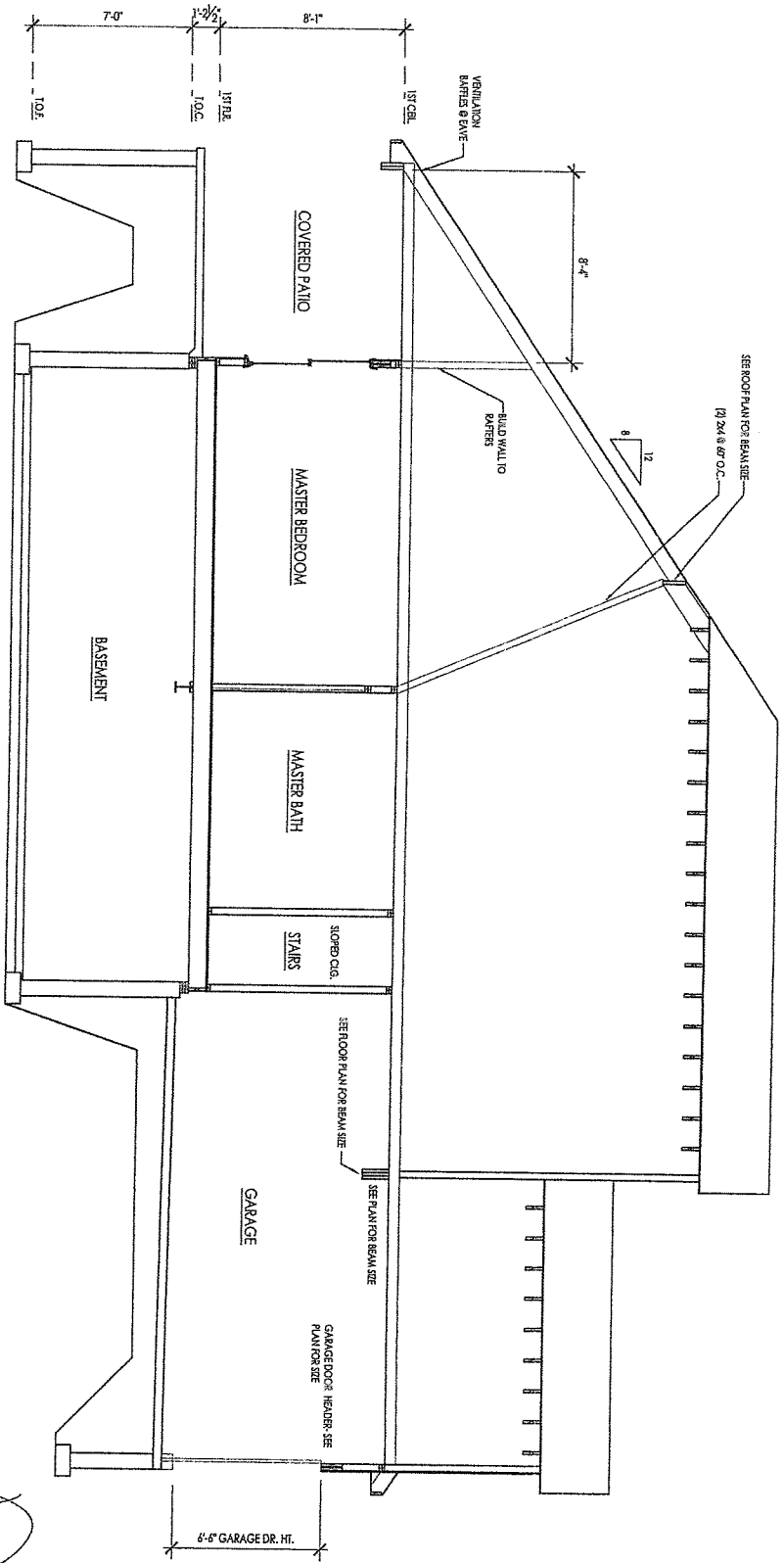


SHEET  
5

**MARRANO**

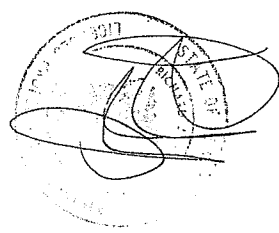
THE YORK  
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM



BUILDING SECTION A  
THE YORK

SCALE: 3/16"=1'-0"

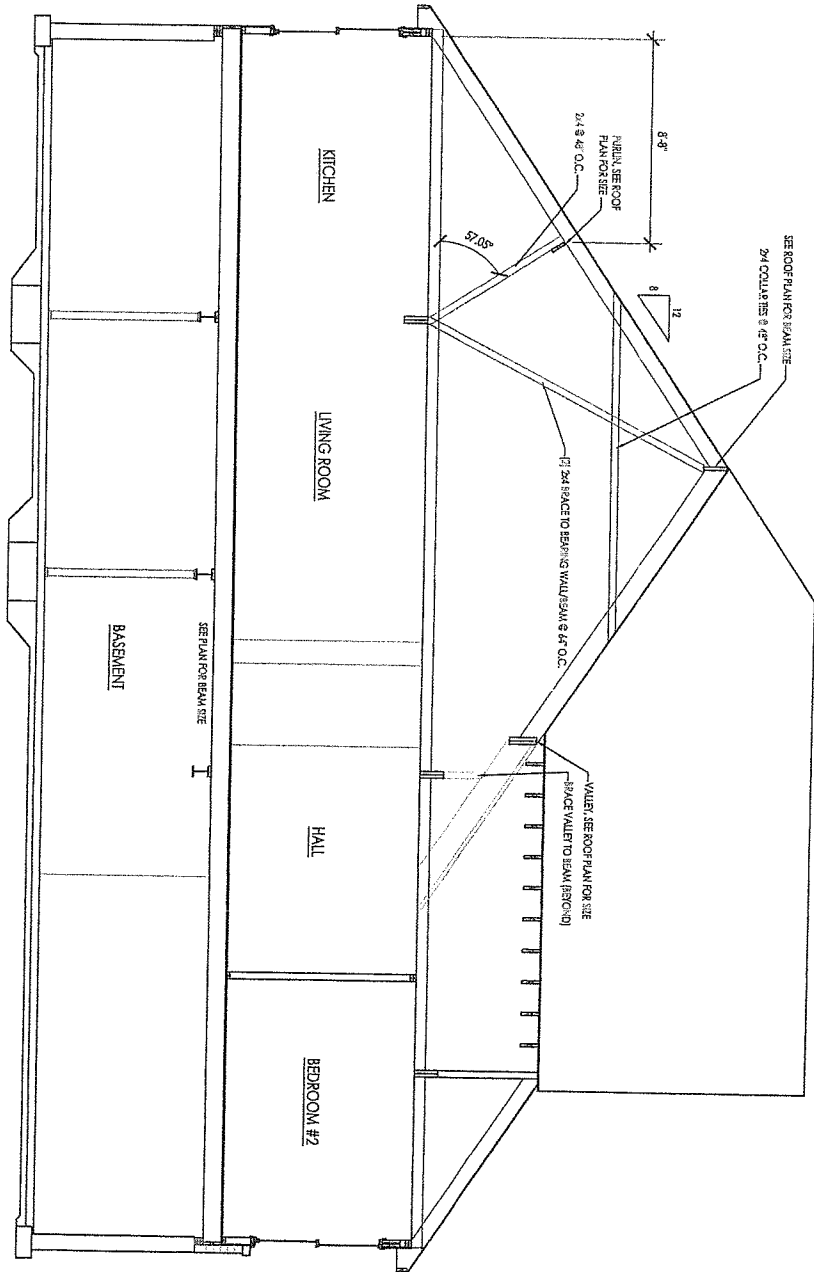


6 SHEET



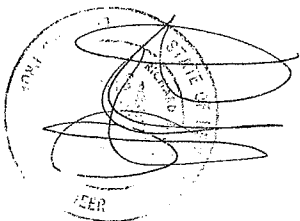
THE YORK  
CENTRAL SQUARE VILLA TOWNHOMES

MARRANO/MARC EQUITY CORPORATION  
2730 TRANSIT ROAD  
WEST SENECA, NY 14224  
PHONE (716) 675-1200 FAX (716) 675-0210  
WWW.MARRANO.COM



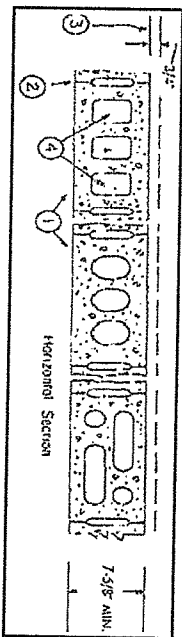
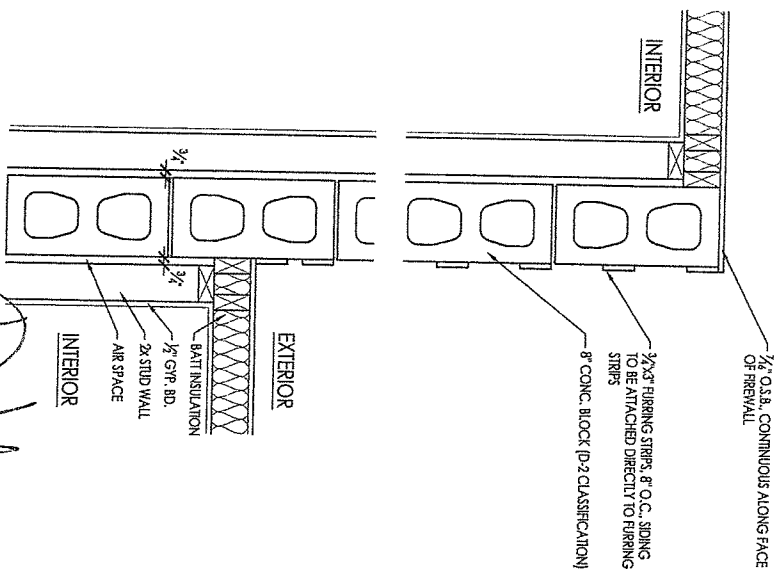
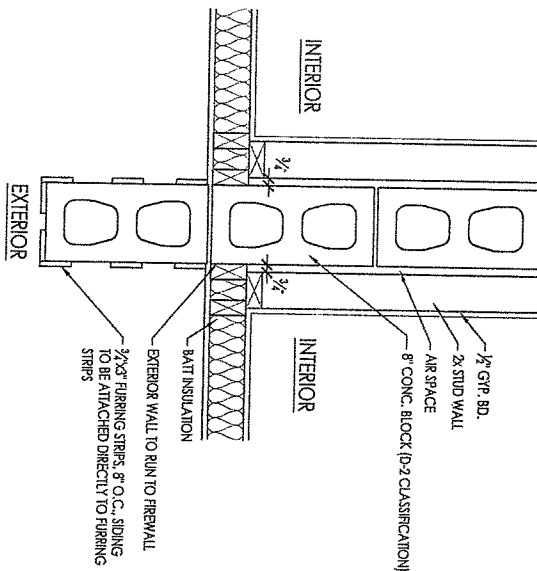
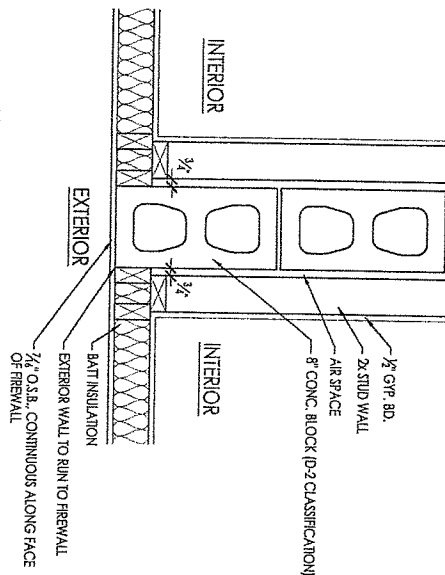
**BUILDING SECTION B**  
THE YORK

SCALE: 3/16"=1'-0"



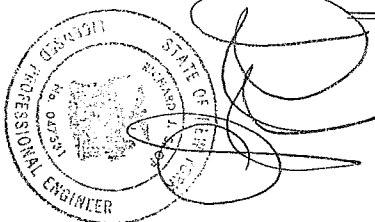
**FIREWALL PLAN DETAILS**

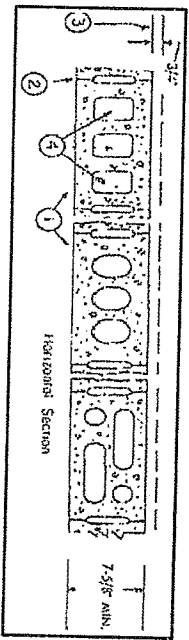
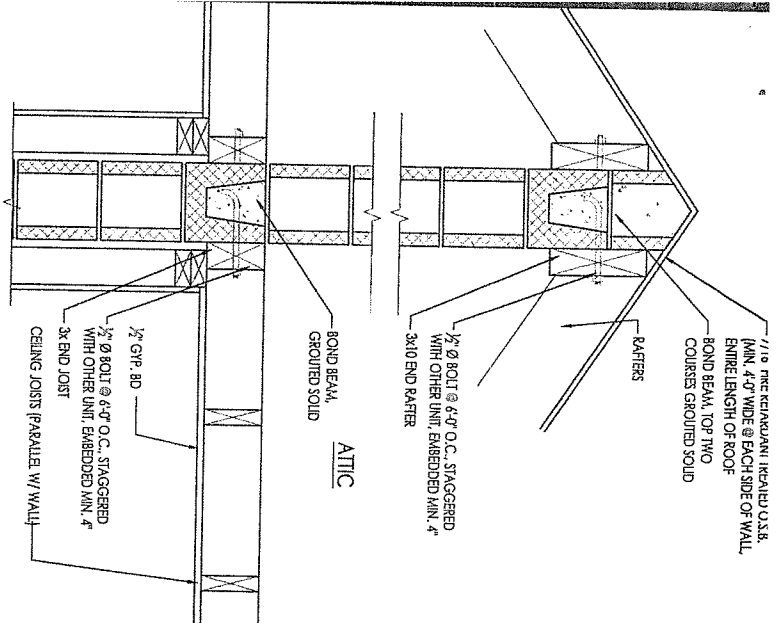
SCALE: 1"=1'-0"



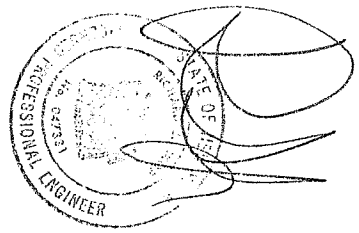
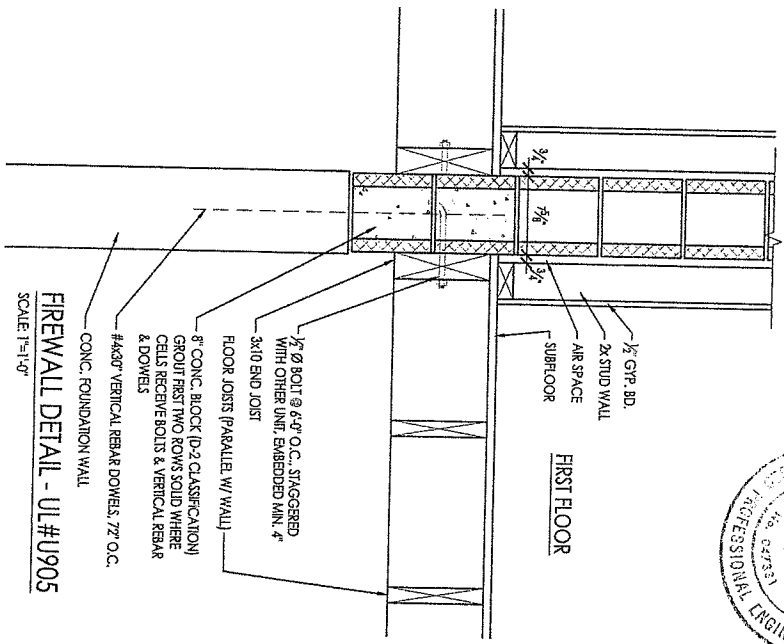
1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible members are framed in wood, plaster or stucco must be applied on both face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)
4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (ready mix process), water repellent Vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr. to Classification.
5. Framed Plastic\* - (Optional - not shown) 1-1/2 in thick max. 4 ft wide depending attached to concrete blocks (Item 1), Centex Corp., Type Trimax

\*Pending the UL Classification Marking





1. Concrete Blocks\* - Various designs, Classification D-2 (2 hr).
  2. Mortar - Blocks laid in full bed of mortar, min. 3/8 in. thick, of not less than 2 1/4 and not more than 3-1/2 parts of clean sharp sand to 1 part Portland cement (proportioned by volume) and not more than 50 percent hydrated lime (by cement volume). Vertical joints staggered.
  3. Portland Cement Stucco or Gypsum Plaster - If used, add 1/2 hr. to Classification. Where combustible materials are framed in wall, plaster or stucco must be applied on the face opposite framing to achieve a max. Classification of 1-1/2 hr. Attached to concrete blocks (Item 1)
  4. Loose Masonry Fill - If all core spaces are filled with loose dry expanded slag, expanded clay or shale (other fill process), water resistant vermiculite masonry fill insulation, or silicone treated perlite loose fill insulation add 2 hr to Classification.
  5. Reinforced Plastic\* - (Optional - not shown) 1-1/2 in thick max, 4 ft wide stretching attached to concrete blocks (Item 1).
- \*Pleasing the UL Classification Marking Center Corp. - Type: Thermax



**FIREWALL DETAIL - UL #1905**  
SCALE: 1"=1'-0"



# **Exhibit F**

**"Central Square Villas" Schedule A**  
**Offering Prices and Related Information**  
**For First Year of Operation Based on Occupancy of All Units**  
*(Letters in parentheses designate footnotes that follow)*

Commencing November 1, 2009

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
101A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
101B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
101C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
102A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
102B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
102C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
103A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
103B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
103C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
104A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
104B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
104C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
201D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
202D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
203D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
204D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
205D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
206D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
301A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
301B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$525.00	\$379.50
301C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
302A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
302B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$508.50	\$363.00
302C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
303A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
303B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$508.50	\$363.00
303C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
304A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
304B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$525.00	\$379.50
304C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
401D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
402D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
403D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
404D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
405D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
406D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
501A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
501B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
501C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
502A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
502B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
502C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
503A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
503B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
503C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
504A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
504B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
504C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
601D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
602D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
603D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
604D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
605D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
606D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
701D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
702D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
703D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
704D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
705D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
706D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
707D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
708D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00
801D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
802D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
803D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
804D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
805D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
806D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
901A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
901B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
901C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
902A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
902B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
902C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
903A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
903B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
903C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
904A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
904B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
904C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1001D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00
1002D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1003D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1004D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1005D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1006D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1007D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1008D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00
1101A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1101B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1101C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
1102A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1102B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1102C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1103A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1103B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1103C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1104A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1104B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1104C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1201D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1202D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1203D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1204D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1205D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1206D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1301D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1302D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1303D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1304D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
1305D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1306D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1401A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1401B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1401C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1402A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1402B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1402C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1403A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1403B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1403C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1404A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1404B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1404C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1501A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1501B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1501C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1502A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1502B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1502C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1503A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1503B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1503C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00



**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
1504A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1504B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
1504C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1601A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1601B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$525.00	\$379.50
1601C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1602A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1602B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$508.50	\$363.00
1602C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1603A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
1603B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$508.50	\$363.00
1603C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
1604A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
1604B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$525.00	\$379.50
1604C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
1701D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1702D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1703D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1704D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1705D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1706D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
1801D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00
1802D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1803D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1804D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1805D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1806D	1,238	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1807D	1,236	\$164,900	1/200	\$145.50	\$272.25	\$417.75	\$272.25
1808D	1,270	\$172,900	1/200	\$145.50	\$286.00	\$431.50	\$286.00
1901D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
1902D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1903D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1904D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1905D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
1906D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2001HC	1,413	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
2002HD	1,243	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2003HD	1,243	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2004HB	1,316	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2101D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2102D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2103D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2104D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2105D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2106D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2201A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2201B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2201C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2202A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2202B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2202C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2203A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2203B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2203C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
2204A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2204B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2204C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2301D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2302D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2303D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2304D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2305D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2306D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2401A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2401B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2401C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2402A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2402B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2402C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2403A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2403B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2403C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2404A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2404B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2404C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
2501A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2501B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2501C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2502A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2502B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2502C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2503A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2503B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2503C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2504A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2504B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2504C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2601A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2601B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2601C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2602A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2602B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2602C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2603A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2603B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2603C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2604A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2604B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2604C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
2701A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2701B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2701C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2702A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2702B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2702C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2703A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
2703B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2703C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
2704A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
2704B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
2704C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
2801D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2802D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2803D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2804D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2805D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2806D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2901D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
2902D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
2903D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2904D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2905D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
2906D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3001A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3001B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3001C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3002A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3002B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3002C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3003A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3003B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3003C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3004A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3004B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3004C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3101D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3102D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3103D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3104D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
3105D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3106D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3201D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3202D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3203D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3204D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3205D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3206D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3301D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3302D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3303D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3304D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3305D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3306D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3401A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3401B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3401C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50



**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
3402A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3402B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3402C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3403A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3403B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3403C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3404A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3404B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3404C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3501A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3501B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3501C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3502A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3502B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3502C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3503A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3503B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3503C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3504A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3504B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3504C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3601D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3602D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
3603D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3604D	1,236	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3605D	1,238	\$174,900	1/200	\$145.50	\$288.75	\$434.25	\$288.75
3606D	1,270	\$182,900	1/200	\$145.50	\$302.50	\$448.00	\$302.50
3701A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3701B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3701C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3702A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3702B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3702C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3703A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3703B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3703C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3704A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3704B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3704C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3801A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3801B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3801C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3802A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3802B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3802C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00

**"Central Square Villas" Schedule A (continued)**

Unit Identification *	Usable Square Feet **	Offering Price	Percentage of Common Interest	Projected Monthly Common Charge	Projected Monthly Real Estate Taxes ***	Projected Monthly Carrying Charges	Projected Monthly Carrying Deductible for Income Tax Purposes****
(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)
3803A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3803B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3803C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3804A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3804B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3804C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3901A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3901B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3901C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
3902A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3902B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3902C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3903A	1,038	\$204,900	1/200	\$145.50	\$338.25	\$483.75	\$338.25
3903B	1,266	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3903C	1,366	\$219,900	1/200	\$145.50	\$363.00	\$508.50	\$363.00
3904A	1,046	\$214,900	1/200	\$145.50	\$354.75	\$500.25	\$354.75
3904B	1,285	\$224,900	1/200	\$145.50	\$371.25	\$516.75	\$371.25
3904C	1,381	\$229,900	1/200	\$145.50	\$379.50	\$525.00	\$379.50
Total A	79,192	\$15,952,400	100	\$11,058.00	\$26,334.00	\$37,392.00	\$37,392.00
Total B	96,938	\$16,712,400	100	\$11,058.00	\$27,588.00	\$38,646.00	\$38,646.00
Total C	104,386	\$17,092,400	100	\$11,058.00	\$28,215.00	\$39,273.00	\$39,273.00
Total D	149,694	\$21,052,000	100	\$17,460.00	\$34,776.50	\$52,236.50	\$52,236.50
Total HB	1,316	\$224,900	100	\$145.50	\$371.25	\$516.75	\$516.75
Total HC	1,413	\$229,900	100	\$145.50	\$379.50	\$525.00	\$525.00
Total HD	2,486	\$349,800	100	\$291.00	\$577.50	\$868.50	\$868.50

**"Central Square Villas" Schedule A (continued)**

\*Unit Identification:

- A (York) - Ranch Style Unit (2 bedrooms / 2 bathrooms / 1-car garage / patio)
- B (Winston) - Two Story Unit (2 bedrooms / 2½ bathrooms / 2-car garage)
- C (Livingston) - Two Story Unit (2 bedrooms / 1½ bathrooms / 2-car garage / patio)
- D (Cambridge) - Two Story Unit (2 bedrooms / 1½ bathrooms / 1-car garage)
- HB (Hybrid Winston) - Two Story Unit (2 bedrooms / 2½ bathrooms / 2-car garage)
- HC (Hybrid Livingston) - Two Story Unit (2 bedrooms / 1½ bathrooms / 2-car garage / patio)
- HD (Hybrid Cambridge) - Two Story Unit (2 bedrooms / 1½ bathrooms / 1-car garage)

\*\*Unit size is approximate and subject to change.

\*\*\*Maximum Real Estate tax estimates (not including STAR exemption)

\*\*\*\*See "Opinion of Tax Counsel" contained within this Offering Plan.

Annual Projected Real Estate Taxes:	
Floor Plan A (end unit)	\$4,257
Floor Plan A (middle unit)	\$4,059
Floor Plan B (end unit)	\$4,455
Floor Plan B (middle unit)	\$4,257
Floor Plan C (end unit)	\$4,554
Floor Plan C (middle unit)	\$4,356
Floor Plan D (end unit / 6-unit building)	\$3,630
Floor Plan D (middle unit / 6-unit building)	\$3,465
Floor Plan D (end unit / 8-unit building)	\$3,432
Floor Plan D (middle unit / 8-unit building)	\$3,267
Floor Plan HB (hybrid unit)	\$4,455
Floor Plan HC (hybrid unit)	\$4,554
Floor Plan HD (hybrid unit)	\$3,465

## Schedule A Footnotes

### Central Square Villas

- A. The projected common charges are for the twelve (12) month period beginning November 1, 2009. There are seven (7) models available to Purchasers:

<u>Model</u>	<u>Description</u>
A (York)	Ranch Style Unit (2 bedrooms/2 bathrooms)
B (Winston)	Two-story Unit (2 bedrooms/2½ bathrooms)
C (Livingston)	Two-story Unit (2 bedrooms/1½ bathrooms)
D (Cambridge)	Two-story Unit (2 bedrooms/1½ bathrooms)
HB (Hybrid Winston)	Two-story Unit (2 bedrooms/2½ bathrooms)
HC (Hybrid Livingston)	Two-story Unit (2 bedrooms/1½ bathrooms)
HD (Hybrid Cambridge)	Two-story Unit (2 bedrooms/1½ bathrooms)

- B. The square footage for each unit has been calculated by using living space (measurements from interior walls) as noted on Schedule A. See section of this Offering Plan entitled "Changes in Prices and Units" relative to changes in unit size.
- C. The offering prices of the units are as set forth in this Schedule. There are two (2) pricing tiers for models A, B, and C depending on the location of the unit. Tier 1 includes all end units, units located at the end of the building having only one common wall. Tier 2 includes all interior units, units located in the middle of the building having two common walls. There are four (4) pricing tiers for model D depending on the type of building and location of the unit. Tier 1 includes all 6-unit building end units and tier 2 includes all 6-unit building interior units. Tier 3 includes all 8-unit building end units and tier 4 includes all 8-unit building interior units. Models HB, HC and HD have just one pricing tier. A map showing the approximate location of the units is included in Part II of this Offering Plan. See the section of this Offering Plan entitled "Changes in Prices or Units" for a discussion of price changes. See the section of this Offering Plan entitled "Closing Costs and Adjustments" for the information regarding closing costs.
- D. As set forth in Real Property Law Section 339.i (1) (iii), the interest of each unit in the common elements is equal and has been determined to be 1/200 for each unit based on the number of units and units being of approximately the same size.
- E. The monthly charge will cover the operation, repair, maintenance, and replacement of all common areas. This includes all water used on the property, electricity in common areas, snow removal, landscape maintenance and insurance, legal and accounting fees. A reserve account has also been established for major repairs and/or maintenance. The estimated monthly common charge is \$145.50 per unit based on 200 units.
- F. The projected assessed valuation of the units is on a completed unit basis. The combined tax rate used to calculate the projected real estate tax is approximately \$33.00 per \$1,000 of assessed valuation, pursuant to an estimate prepared and provided by Real Property Services LLC. The estimated assessed valuation of Units per Real Property Service, LLC is as follows:

Schedule A Footnotes *(continued)*

Central Square Villas

	Tier 1 <i>(end unit)</i>	Tier 2 <i>(interior unit)</i>	Tier 3 <i>(end unit)</i>	Tier 4 <i>(interior unit)</i>
Unit A	\$4,257	\$4,059	--	--
Unit B	\$4,455	\$4,257	--	--
Unit C	\$4,554	\$4,356	--	--
Unit D	\$3,630	\$3,465	\$3,432	\$3,267
Unit HB	\$4,455	--	--	--
Unit HC	\$4,554	--	--	--
Unit HD	\$3,465	--	--	--

(See attached letter).

- G. If Purchaser obtains financing, the debt service on such financing will be an additional monthly expense. Further, the projected carrying charges do not include certain housing costs to which the owner is generally responsible such as repairs to the interior of the unit, separately metered gas, electricity, hot water and heat. As units are individually heated so that unit owners must pay heating costs directly to the supplier, please refer to the projection for heat, hot water and electricity set forth in Schedule B-1.
- H. The projected amount deductible for income tax purposes may vary in subsequent years due to changes in the interest rate on any mortgage, refinancing the mortgage, the allocation of constant debt service payments between interest and principal, or due to changes in the assessed value, the tax rate or in the method of assessing real property which result in change in real property taxes, or such other changes as may reasonably be expected to affect deductions. Current Internal Revenue Code Regulations permit individuals to deduct only real estate taxes and mortgage interest on property used as a primary or secondary residence. If the Owner thereof uses the property for rental purposes, different tax considerations will apply. The Owners are advised to consult tax counsel regarding their own circumstances in this instance.



April 27, 2009

RE: Central Square Villas (Townhouses)  
Town of Lancaster, New York

Dear Marrano/Marc Equity Corporation:

At your request as the developer of the proposed Central Square Villas Condominium project located off of Pleasant View Drive in the Town of Lancaster, Erie County, New York, I have estimated a reasonable assessment and tax level for each of the twelve (12) types of floor plans to be offered. The estimated levels reflect projected 2010 assessments (at 100% of value) and tax rates. The assessments projected for the condominium units reflect "rental" values based upon New York State Real Property Tax Law. A Pro Forma Operating Statement for each unit type is attached which illustrates the derivation of value.

Attached also is a summary grid showing each unit type, the anticipated sales price, the derived condominium value/assessment, and the associated taxes with and without the New York State Basic STAR Exemption.

Thank you for the opportunity to complete this analysis for you. Please call me should you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Donald A. Griebner".

Donald A. Griebner  
President  
New York State Certified  
General Real Estate Appraiser  
ID #: 46-4373

Att:jas

## Central Square Villas

April, 2008

<u>No.</u>	<u>Type</u>	<u>Size (SF)</u>	<u>Price</u>	<u>Condo Value</u>	<u>Total Taxes</u>	<u>Taxes w/STAR</u>
1	A-End Unit	1,046	\$ 214,900	\$ 129,000	\$ 4,257	\$ 3,762
2	A-Middle	1,038	\$ 204,900	\$ 123,000	\$ 4,059	\$ 3,564
3	B-Hybrid	1,316	\$ 224,900	\$ 135,000	\$ 4,455	\$ 3,960
4	B-End Unit	1,285	\$ 224,900	\$ 135,000	\$ 4,455	\$ 3,960
5	B-Middle	1,266	\$ 214,900	\$ 129,000	\$ 4,257	\$ 3,762
6	C-Hybrid	1,413	\$ 229,900	\$ 138,000	\$ 4,554	\$ 4,059
7	C-End Unit	1,381	\$ 229,900	\$ 138,000	\$ 4,554	\$ 4,059
8	C-Middle	1,366	\$ 219,900	\$ 132,000	\$ 4,356	\$ 3,861
9	D-End Unit	1,270	\$ 182,900	\$ 110,000	\$ 3,630	\$ 3,135
10	D-Middle	1,240	\$ 174,900	\$ 105,000	\$ 3,465	\$ 2,970
11	D-End Unit	1,270	\$ 172,900	\$ 104,000	\$ 3,432	\$ 2,937
12	D-Middle	1,237	\$ 164,900	\$ 99,000	\$ 3,267	\$ 2,772



## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan A - End Unit  
April, 2008

### Income

1,046	sf @ \$1.38/sf = \$1,440/mo. X 12 =	\$17,280
	Less: Vacancy & Collection @ 5%:	<u>(\$864)</u>
	Effective Gross Income:	\$16,416

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$209
Utilities @ \$.25/sf:		\$261
Maint/Payroll @ \$.75/sf:		\$784
Management @ 5%:		\$821
Prof Fees: \$.10/sf:		\$105
Reserve @ \$.30/sf:		<u>\$314</u>

<b>Total Operating Expenses:</b>	<u>(\$2,494)</u>
<b>Net Operating Income:</b>	\$13,922

Cap Rate:	$0.075 + .033 =$	0.108
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Indicated Rental Value:	\$128,907
®	\$129,000

## Pro-Forma Operating Statement

Central Square Villas

Floor Plan A - Middle Unit

April, 2008

### Income

1,038	sf @ \$1.33/sf = \$1,380/mo. X 12 =	\$16,560
	Less: Vacancy & Collection @ 5%:	<u>(\$828)</u>
	Effective Gross Income:	\$15,732

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$207
Utilities @ \$.25/sf:		\$259
Maint/Payroll @ \$.75/sf:		\$776
Management @ 5%:		\$787
Prof Fees: \$.10/sf:		\$104
Reserve @ \$.30/sf:		<u>\$311</u>

<b>Total Operating Expenses:</b>	<b><u>(\$2,444)</u></b>
<b>Net Operating Income:</b>	<b>\$13,288</b>

Cap Rate:	0.075 + .033 =	0.108
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Indicated Rental Value:	\$123,037
®	\$123,000

## Pro-Forma Operating Statement

Central Square Villas

Floor Plan B - Hybrid Unit

April, 2008

### Income

1,316	sf @ \$1.17/sf = \$1,540/mo. X 12 =	\$18,480
	Less: Vacancy & Collection @ 5%:	<u>(\$924)</u>
	Effective Gross Income:	\$17,556

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$263
Utilities @ \$.25/sf:		\$329
Maint/Payroll @ \$.75/sf:		\$987
Management @ 5%:		\$878
Prof Fees: \$.10/sf:		\$132
Reserve @ \$.30/sf:		<u>\$395</u>

Total Operating Expenses:	<u>(\$2,984)</u>
Net Operating Income:	\$14,572

Cap Rate:	0.075 + .033 =	0.108
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Indicated Rental Value:	\$134,926
@	\$135,000

## Pro-Forma Operating Statement

Central Square Villas

Floor Plan B - End Unit

April, 2008

### Income

1,285	sf @ \$1.19/sf = \$1,535/mo. X 12 =	\$18,420
	Less: Vacancy & Collection @ 5%:	<u>(\$921)</u>
	Effective Gross Income:	\$17,499

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$257
Utilities @ \$.25/sf:		\$321
Maint/Payroll @ \$.75/sf:		\$964
Management @ 5%:		\$875
Prof Fees: \$.10/sf:		\$129
Reserve @ \$.30/sf:		<u>\$386</u>

<b>Total Operating Expenses:</b>	<b><u>(\$2,932)</u></b>
<b>Net Operating Income:</b>	<b>\$14,567</b>

Cap Rate:	0.075 + .033 =	0.108
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Indicated Rental Value:	\$134,880
	@ \$135,000

## Pro-Forma Operating Statement

Central Square Villas

Floor Plan B - Middle Unit

April, 2008

### Income

1,266	sf @ \$1.17/sf = \$1,475/mo. X 12 =	\$17,700
	Less: Vacancy & Collection @ 5%:	<u>(\$885)</u>
	Effective Gross Income:	\$16,815

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$253
Utilities @ \$.25/sf:		\$317
Maint/Payroll @ \$.75/sf:		\$950
Management @ 5%:		\$841
Prof Fees: \$.10/sf:		\$127
Reserve @ \$.30/sf:		<u>\$380</u>

<b>Total Operating Expenses:</b>	<u>(\$2,868)</u>
<b>Net Operating Income:</b>	\$13,947

Cap Rate:  $0.075 + .033 =$  0.108

Indicated Rental Value: \$129,139  
® \$129,000

## Pro-Forma Operating Statement

Central Square Villas

Floor Plan C - Hybrid Unit

April, 2008

### Income

1,413	sf @ \$1.12/sf = \$1,585/mo. X 12 =	\$19,020
	Less: Vacancy & Collection @ 5%:	<u>(\$951)</u>
	Effective Gross Income:	\$18,069

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$283
Utilities @ \$.25/sf:		\$353
Maint/Payroll @ \$.75/sf:		\$1,060
Management @ 5%:		\$903
Prof Fees: \$.10/sf:		\$141
Reserve @ \$.30/sf:		<u>\$424</u>

<b>Total Operating Expenses:</b>	<b><u>(\$3,164)</u></b>
<b>Net Operating Income:</b>	<b>\$14,905</b>

Cap Rate:  $0.075 + .033 =$  0.108

Indicated Rental Value: \$138,009  
@ \$138,000

## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan C - End Unit  
April, 2008

### Income

1,381	sf @ \$1.14/sf = \$1,580/mo. X 12 =	\$18,960
	Less: Vacancy & Collection @ 5%:	<u>(\$948)</u>
	Effective Gross Income:	\$18,012

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$276
Utilities @ \$.25/sf:		\$345
Maint/Payroll @ \$.75/sf:		\$1,036
Management @ 5%:		\$901
Prof Fees: \$.10/sf:		\$138
Reserve @ \$.30/sf:		<u>\$414</u>

<b>Total Operating Expenses:</b>	<u>(\$3,110)</u>
<b>Net Operating Income:</b>	\$14,902

Cap Rate:	0.075 + .033 =	0.108
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Indicated Rental Value:	\$137,981
®	\$138,000

## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan C - Middle Unit  
April, 2008

### Income

1,366	sf @ \$1.11/sf = \$1,520/mo. X 12 =	\$18,240
	Less: Vacancy & Collection @ 5%:	<u>(\$912)</u>
	Effective Gross Income:	\$17,328

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$273
Utilities @ \$.25/sf:		\$342
Maint/Payroll @ \$.75/sf:		\$1,025
Management @ 5%:		\$866
Prof Fees: \$.10/sf:		\$137
Reserve @ \$.30/sf:		<u>\$410</u>

<b>Total Operating Expenses:</b>	<b><u>(\$3,053)</u></b>
<b>Net Operating Income:</b>	<b>\$14,275</b>

Cap Rate: 0.075 + .033 =	0.108
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Indicated Rental Value:	\$132,176
@	\$132,000



## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan D - End Unit  
April, 2008

### Income

1,270	sf @ \$1.01/sf = \$1,285/mo. X 12 =	\$15,420
	Less: Vacancy & Collection @ 5%:	<u>(\$771)</u>
	Effective Gross Income:	\$14,649

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$254
Utilities @ \$.25/sf:		\$318
Maint/Payroll @ \$.75/sf:		\$953
Management @ 5%:		\$732
Prof Fees: \$.10/sf:		\$127
Reserve @ \$.30/sf:		<u>\$381</u>

<b>Total Operating Expenses:</b>	<b><u>(\$2,765)</u></b>
<b>Net Operating Income:</b>	<b>\$11,884</b>

Cap Rate:	$0.075 + .033 =$	0.108
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Indicated Rental Value:	\$110,037
®	\$110,000

## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan D - Middle Unit  
April, 2008

### Income

1240 (avg.) sf @ \$.99/sf = \$1,230/mo. X 12 =	\$14,760
Less: Vacancy & Collection @ 5%:	<u>(\$738)</u>
Effective Gross Income:	\$14,022

### Expenses:

Real Estate Taxes: (.033 added to cap rate)	
Insurance: @ \$.20/sf	\$248
Utilities @ \$.25/sf:	\$310
Maint/Payroll @ \$.75/sf:	\$930
Management @ 5%:	\$701
Prof Fees: \$.10/sf:	\$124
Reserve @ \$.30/sf:	<u>\$372</u>

<b>Total Operating Expenses:</b>	<b><u>(\$2,685)</u></b>
<b>Net Operating Income:</b>	<b>\$11,337</b>

Cap Rate:  $0.075 + .033 =$  0.108

Indicated Rental Value: \$104,972  
® \$105,000

## Pro-Forma Operating Statement

Central Square Villas  
Floor Plan D - End Unit  
April, 2008

### Income

1,270	sf @ \$.96/sf = \$1,225/mo. X 12 =	\$14,700
	Less: Vacancy & Collection @ 5%:	<u>(\$735)</u>
	Effective Gross Income:	\$13,965

### Expenses:

Real Estate Taxes:	(.033 added to cap rate)	
Insurance: @ \$.20/sf		\$254
Utilities @ \$.25/sf:		\$318
Maint/Payroll @ \$.75/sf:		\$953
Management @ 5%:		\$698
Prof Fees: \$.10/sf:		\$127
Reserve @ \$.30/sf:		<u>\$381</u>

Total Operating Expenses:	<u>(\$2,731)</u>
Net Operating Income:	\$11,234

Cap Rate:	0.075 + .033 =	0.108
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Indicated Rental Value:	\$104,019
@	\$104,000

**Pro-Forma Operating Statement**

Central Square Villas

Floor Plan D - Middle Unit (8-Unit Bldg.)

April, 2008

**Income**

1237 (avg.) sf @ \$.95/sf = \$1,170/mo. X 12 = \$14,040  
Less: Vacancy & Collection @ 5%: (\$702)  
Effective Gross Income: \$13,338

**Expenses:**

Real Estate Taxes: (.033 added to cap rate)  
Insurance: @ \$.20/sf \$247  
Utilities @ \$.25/sf: \$309  
Maint/Payroll @ \$.75/sf: \$928  
Management @ 5%: \$667  
Prof Fees: \$.10/sf: \$124  
Reserve @ \$.30/sf: \$371

**Total Operating Expenses:** (\$2,646)  
**Net Operating Income:** \$10,692

Cap Rate:  $0.075 + .033 =$  0.108

Indicated Rental Value: \$99,000  
® \$99,000

**Central Square Villas  
Schedule B-1**

Budget for Individual Energy Costs

Projected Budget for Individual Energy Costs for Year Commencing  
November 1, 2009

Unit A (1,038 or 1,046 Square Feet)

<b>(1) Heat and Hot Water</b>	\$1,218-\$1,272 per year	\$102-\$106 per month
<b>(2) Electric</b>	\$840-\$900 per year	\$70-\$75 per month
<b>(3) Electric (with A/C)</b>	\$1,140-\$1,200 per year	\$95-\$100 per month

Unit B (1,266, 1,285 or 1,316 Square Feet)

<b>(1) Heat and Hot Water</b>	\$1,171-\$1,267 per year	\$98-\$106 per month
<b>(2) Electric</b>	\$840-\$900 per year	\$70-\$75 per month
<b>(3) Electric (with A/C)</b>	\$1,140-\$1,200 per year	\$95-\$100 per month

Unit C (1,366, 1,381 or 1,413 Square Feet)

<b>(1) Heat and Hot Water</b>	\$1,212-\$1,299 per year	\$101-\$108 per month
<b>(2) Electric</b>	\$840-\$900 per year	\$70-\$75 per month
<b>(3) Electric (with A/C)</b>	\$1,140-\$1,200 per year	\$95-\$100 per month

Unit D (1,236, 1,238, 1,243 or 1,270 Square Feet)

<b>(1) Heat and Hot Water</b>	\$1,150-\$1,257 per year	\$96-\$105 per month
<b>(2) Electric</b>	\$840-\$900 per year	\$70-\$75 per month
<b>(3) Electric (with A/C)</b>	\$1,140-\$1,200 per year	\$95-\$100 per month

- (A1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$102-\$106 per month, or \$1,218-\$1,272 per year.
- (A2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.

- (A3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.
- (B1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$98-\$106 per month, or \$1,171-\$1,267 per year.
- (B2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (B3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.
- (C1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$101-\$108 per month, or \$1,212-\$1,299 per year.
- (C2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (C3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.

- (D1) The estimate for the cost of gas heat and hot water was determined through a Residential Energy Analysis Report prepared by Northwind Insulation, Inc. dated March 3, 2009. The calculations are based on the unit having an 80% efficient furnace and a 40-gallon hot water heater. The current rate for gas is \$.67/ccf. The estimated average cost of heat and hot water is \$96-\$105 per month, or \$1,150-\$1,257 per year.
- (D2) The estimated cost of electricity usage is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical residence with 1,000-1,400 square feet of living space with gas heat and hot water. The current rate for residential electricity is 11.6800 cents/kWh. Assuming a monthly usage of approximately 500 kilowatt hours per month, the estimated average cost of electricity would be \$70-\$75 per month, or \$840-\$900 per year.
- (D3) The estimated cost of electricity usage when air conditioning is present is made on the basis of the average electricity usage estimated by NYSEG (New York State Electric and Gas) for a typical air conditioned residence with 1,000-1,400 square feet of living space with gas heat and hot water. Based upon the current rate of 11.6800 cents/kWh and assuming a monthly usage of approximately 700 kilowatt hours per month, the estimated average cost of electricity would be \$95-\$100 per month, or \$1,140-\$1,200 per year.

It should be noted that persons of varying needs and standards of comfort would occupy the units. Therefore, the actual amount of energy used by the unit occupants may vary substantially from the estimates presented herein.

The estimates set forth above do not include sales tax or inflation factors. Sales tax of 4.75% plus a reasonably anticipated annual increase of 3% to meet any rate increase that may occur should be added to the estimated energy costs.

# **Exhibit G**



## Price Change Schedule

<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>
101A	\$209,900	\$214,900	406D	\$187,900	\$182,900	805D	\$179,900	\$174,900
101B	\$229,900	\$224,900	501A	\$209,900	\$214,900	806D	\$187,900	\$182,900
101C	\$226,900	\$229,900	501B	\$229,900	\$224,900	901A	\$209,900	\$214,900
102A	\$199,900	\$204,900	501C	\$226,900	\$229,900	901B	\$229,900	\$224,900
102B	\$219,900	\$214,900	502A	\$199,900	\$204,900	901C	\$226,900	\$229,900
102C	\$216,900	\$219,900	502B	\$219,900	\$214,900	902A	\$199,900	\$204,900
103A	\$199,900	\$204,900	502C	\$216,900	\$219,900	902B	\$219,900	\$214,900
103B	\$219,900	\$214,900	503A	\$199,900	\$204,900	902C	\$216,900	\$219,900
103C	\$216,900	\$219,900	503B	\$219,900	\$214,900	903A	\$199,900	\$204,900
104A	\$209,900	\$214,900	503C	\$216,900	\$219,900	903B	\$219,900	\$214,900
104B	\$229,900	\$224,900	504A	\$209,900	\$214,900	903C	\$216,900	\$219,900
104C	\$226,900	\$229,900	504B	\$229,900	\$224,900	904A	\$209,900	\$214,900
201D	\$187,900	\$182,900	504C	\$226,900	\$229,900	904B	\$229,900	\$224,900
202D	\$179,900	\$174,900	601D	\$187,900	\$182,900	904C	\$226,900	\$229,900
203D	\$179,900	\$174,900	602D	\$179,900	\$174,900	1001D	\$177,900	\$172,900
204D	\$179,900	\$174,900	603D	\$179,900	\$174,900	1002D	\$169,900	\$164,900
205D	\$179,900	\$174,900	604D	\$179,900	\$174,900	1003D	\$169,900	\$164,900
206D	\$187,900	\$182,900	605D	\$179,900	\$174,900	1004D	\$169,900	\$164,900
301A	\$209,900	\$214,900	606D	\$187,900	\$182,900	1006D	\$169,900	\$164,900
301B	\$229,900	\$224,900	701D	\$177,900	\$172,900	1007D	\$169,900	\$164,900
301C	\$226,900	\$229,900	702D	\$169,900	\$164,900	1008D	\$177,900	\$172,900
302A	\$199,900	\$204,900	703D	\$169,900	\$164,900	1101A	\$209,900	\$214,900
302B	\$219,900	\$214,900	704D	\$169,900	\$164,900	1101B	\$229,900	\$224,900
302C	\$216,900	\$219,900	705D	\$169,900	\$164,900	1101C	\$226,900	\$229,900
303A	\$199,900	\$204,900	706D	\$169,900	\$164,900	1102A	\$199,900	\$204,900
303B	\$219,900	\$214,900	707D	\$169,900	\$164,900	1102B	\$219,900	\$214,900
303C	\$216,900	\$219,900	708D	\$177,900	\$172,900	1102C	\$216,900	\$219,900
304A	\$209,900	\$214,900	801D	\$187,900	\$182,900	1103A	\$199,900	\$204,900
304B	\$229,900	\$224,900	802D	\$179,900	\$174,900	1103B	\$219,900	\$214,900
304C	\$226,900	\$229,900	803D	\$179,900	\$174,900	1103C	\$216,900	\$219,900
401D	\$187,900	\$182,900	804D	\$179,900	\$174,900	1104A	\$209,900	\$214,900
402D	\$179,900	\$174,900				1104B	\$229,900	\$224,900
403D	\$179,900	\$174,900				1104C	\$226,900	\$229,900
404D	\$179,900	\$174,900				1201D	\$187,900	\$182,900
405D	\$179,900	\$174,900				1202D	\$179,900	\$174,900

<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>
1203D	\$179,900	\$174,900	1602A	\$199,900	\$204,900	2003HD	\$179,900	\$174,900
1204D	\$179,900	\$174,900	1602B	\$219,900	\$214,900	2004HB	\$229,900	\$224,900
1205D	\$179,900	\$174,900	1602C	\$216,900	\$219,900	2101D	\$187,900	\$182,900
1206D	\$187,900	\$182,900	1603A	\$199,900	\$204,900	2102D	\$179,900	\$174,900
1301D	\$187,900	\$182,900	1603B	\$219,900	\$214,900	2103D	\$179,900	\$174,900
1302D	\$179,900	\$174,900	1603C	\$216,900	\$219,900	2104D	\$179,900	\$174,900
1303D	\$179,900	\$174,900	1604A	\$209,900	\$214,900	2105D	\$179,900	\$174,900
1304D	\$179,900	\$174,900	1604B	\$229,900	\$224,900	2106D	\$187,900	\$182,900
1305D	\$179,900	\$174,900	1604C	\$226,900	\$229,900	2201A	\$209,900	\$214,900
1306D	\$187,900	\$182,900	1701D	\$187,900	\$182,900	2201B	\$229,900	\$224,900
1401A	\$209,900	\$214,900	1702D	\$179,900	\$174,900	2201C	\$226,900	\$229,900
1401B	\$229,900	\$224,900	1703D	\$179,900	\$174,900	2202A	\$199,900	\$204,900
1401C	\$226,900	\$229,900	1704D	\$179,900	\$174,900	2202B	\$219,900	\$214,900
1402A	\$199,900	\$204,900	1705D	\$179,900	\$174,900	2202C	\$216,900	\$219,900
1402B	\$219,900	\$214,900	1706D	\$187,900	\$182,900	2203A	\$199,900	\$204,900
1402C	\$216,900	\$219,900	1801D	\$177,900	\$172,900	2203B	\$219,900	\$214,900
1403A	\$199,900	\$204,900	1802D	\$169,900	\$164,900	2203C	\$216,900	\$219,900
1403B	\$219,900	\$214,900	1803D	\$169,900	\$164,900	2204A	\$209,900	\$214,900
1403C	\$216,900	\$219,900	1804D	\$169,900	\$164,900	2204B	\$229,900	\$224,900
1404A	\$209,900	\$214,900	1805D	\$169,900	\$164,900	2204C	\$226,900	\$229,900
1404B	\$229,900	\$224,900	1806D	\$169,900	\$164,900	2301D	\$187,900	\$182,900
1404C	\$226,900	\$229,900	1807D	\$169,900	\$164,900	2302D	\$179,900	\$174,900
1501A	\$209,900	\$214,900	1808D	\$177,900	\$172,900	2303D	\$179,900	\$174,900
1501B	\$229,900	\$224,900	1901D	\$187,900	\$182,900	2304D	\$179,900	\$174,900
1501C	\$226,900	\$229,900	1902D	\$179,900	\$174,900	2305D	\$179,900	\$174,900
1502A	\$199,900	\$204,900	1903D	\$179,900	\$174,900	2306D	\$187,900	\$182,900
1502B	\$219,900	\$214,900	1904D	\$179,900	\$174,900	2401A	\$209,900	\$214,900
1502C	\$216,900	\$219,900	1905D	\$179,900	\$174,900	2401B	\$229,900	\$224,900
1503A	\$199,900	\$204,900	1906D	\$187,900	\$182,900	2401C	\$226,900	\$229,900
1503B	\$219,900	\$214,900	2001HC	\$226,900	\$229,900	2402A	\$199,900	\$204,900
1503C	\$216,900	\$219,900	2002HD	\$179,900	\$174,900	2402B	\$219,900	\$214,900
1504A	\$209,900	\$214,900				2402C	\$216,900	\$219,900
1504B	\$229,900	\$224,900				2403A	\$199,900	\$204,900
1504C	\$226,900	\$229,900				2403B	\$219,900	\$214,900
1601A	\$209,900	\$214,900				2403C	\$216,900	\$219,900
1601B	\$229,900	\$224,900						
1601C	\$226,900	\$229,900						

<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>	<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>
2404A	\$209,900	\$214,900	2805D	\$179,900	\$174,900	3303D	\$179,900	\$174,900
2404B	\$229,900	\$224,900	2806D	\$187,900	\$182,900	3304D	\$179,900	\$174,900
2404C	\$226,900	\$229,900	2901D	\$187,900	\$182,900	3305D	\$179,900	\$174,900
2501A	\$209,900	\$214,900	2902D	\$179,900	\$174,900	3306D	\$187,900	\$182,900
2501B	\$229,900	\$224,900	2903D	\$179,900	\$174,900	3401A	\$209,900	\$214,900
2501C	\$226,900	\$229,900	2904D	\$179,900	\$174,900	3401B	\$229,900	\$224,900
2502A	\$199,900	\$204,900	2905D	\$179,900	\$174,900	3401C	\$226,900	\$229,900
2502B	\$219,900	\$214,900	2906D	\$187,900	\$182,900	3402A	\$199,900	\$204,900
2502C	\$216,900	\$219,900	3001A	\$209,900	\$214,900	3402B	\$219,900	\$214,900
2503A	\$199,900	\$204,900	3001B	\$229,900	\$224,900	3402C	\$216,900	\$219,900
2503B	\$219,900	\$214,900	3001C	\$226,900	\$229,900	3403A	\$199,900	\$204,900
2503C	\$216,900	\$219,900	3002A	\$199,900	\$204,900	3403B	\$219,900	\$214,900
2504A	\$209,900	\$214,900	3002B	\$219,900	\$214,900	3403C	\$216,900	\$219,900
2504B	\$229,900	\$224,900	3002C	\$216,900	\$219,900	3404A	\$209,900	\$214,900
2504C	\$226,900	\$229,900	3003A	\$199,900	\$204,900	3404B	\$229,900	\$224,900
2601A	\$209,900	\$214,900	3003B	\$219,900	\$214,900	3404C	\$226,900	\$229,900
2601B	\$229,900	\$224,900	3003C	\$216,900	\$219,900	3501A	\$209,900	\$214,900
2601C	\$226,900	\$229,900	3004A	\$209,900	\$214,900	3501B	\$229,900	\$224,900
2602A	\$199,900	\$204,900	3004B	\$229,900	\$224,900	3501C	\$226,900	\$229,900
2602B	\$219,900	\$214,900	3004C	\$226,900	\$229,900	3502A	\$199,900	\$204,900
2602C	\$216,900	\$219,900	3101D	\$187,900	\$182,900	3502B	\$219,900	\$214,900
2603A	\$199,900	\$204,900	3102D	\$179,900	\$174,900	3502C	\$216,900	\$219,900
2603B	\$219,900	\$214,900	3103D	\$179,900	\$174,900	3503A	\$199,900	\$204,900
2603C	\$216,900	\$219,900	3104D	\$179,900	\$174,900	3503B	\$219,900	\$214,900
2604A	\$209,900	\$214,900	3105D	\$179,900	\$174,900	3503C	\$216,900	\$219,900
2604B	\$229,900	\$224,900	3106D	\$187,900	\$182,900	3504A	\$209,900	\$214,900
2604C	\$226,900	\$229,900	3201D	\$187,900	\$182,900	3504B	\$229,900	\$224,900
2701A	\$209,900	\$214,900	3202D	\$179,900	\$174,900	3504C	\$226,900	\$229,900
2701B	\$229,900	\$224,900	3203D	\$179,900	\$174,900	3601D	\$187,900	\$182,900
2701C	\$226,900	\$229,900	3204D	\$179,900	\$174,900	3602D	\$179,900	\$174,900
2702A	\$199,900	\$204,900	3205D	\$179,900	\$174,900	3603D	\$179,900	\$174,900
2702B	\$219,900	\$214,900	3206D	\$187,900	\$182,900	3604D	\$179,900	\$174,900
2702C	\$216,900	\$219,900	3301D	\$187,900	\$182,900	3605D	\$179,900	\$174,900
2703A	\$199,900	\$204,900	3302D	\$179,900	\$174,900	3606D	\$187,900	\$182,900
2703B	\$219,900	\$214,900	3701A	\$209,900	\$214,900	3701A	\$209,900	\$214,900
2703C	\$216,900	\$219,900	3701B	\$229,900	\$224,900	3701B	\$229,900	\$224,900
2704A	\$209,900	\$214,900	3701C	\$226,900	\$229,900	3701C	\$226,900	\$229,900
2704B	\$229,900	\$224,900	3702A	\$199,900	\$204,900	3702A	\$199,900	\$204,900
2704C	\$226,900	\$229,900	3702B	\$219,900	\$214,900	3702B	\$219,900	\$214,900
2801D	\$187,900	\$182,900	3702C	\$216,900	\$219,900	3702C	\$216,900	\$219,900
2802D	\$179,900	\$174,900						
2803D	\$179,900	\$174,900						
2804D	\$179,900	\$174,900						

<u>Unit #</u>	<u>Current Price</u>	<u>New Price</u>
3703A	\$199,900	\$204,900
3703B	\$219,900	\$214,900
3703C	\$216,900	\$219,900
3704A	\$209,900	\$214,900
3704B	\$229,900	\$224,900
3704C	\$226,900	\$229,900
3801A	\$209,900	\$214,900
3801B	\$229,900	\$224,900
3801C	\$226,900	\$229,900
3802A	\$199,900	\$204,900
3802B	\$219,900	\$214,900
3802C	\$216,900	\$219,900
3803A	\$199,900	\$204,900
3803B	\$219,900	\$214,900
3803C	\$216,900	\$219,900
3804A	\$209,900	\$214,900
3804B	\$229,900	\$224,900
3804C	\$226,900	\$229,900
3901A	\$209,900	\$214,900
3901B	\$229,900	\$224,900
3901C	\$226,900	\$229,900
3902A	\$199,900	\$204,900
3902B	\$219,900	\$214,900
3902C	\$216,900	\$219,900
3903A	\$199,900	\$204,900
3903B	\$219,900	\$214,900
3903C	\$216,900	\$219,900
3904A	\$209,900	\$214,900
3904B	\$229,900	\$224,900
3904C	\$226,900	\$229,900